

# HERVEY PRECINCT DESIGN COVENANT



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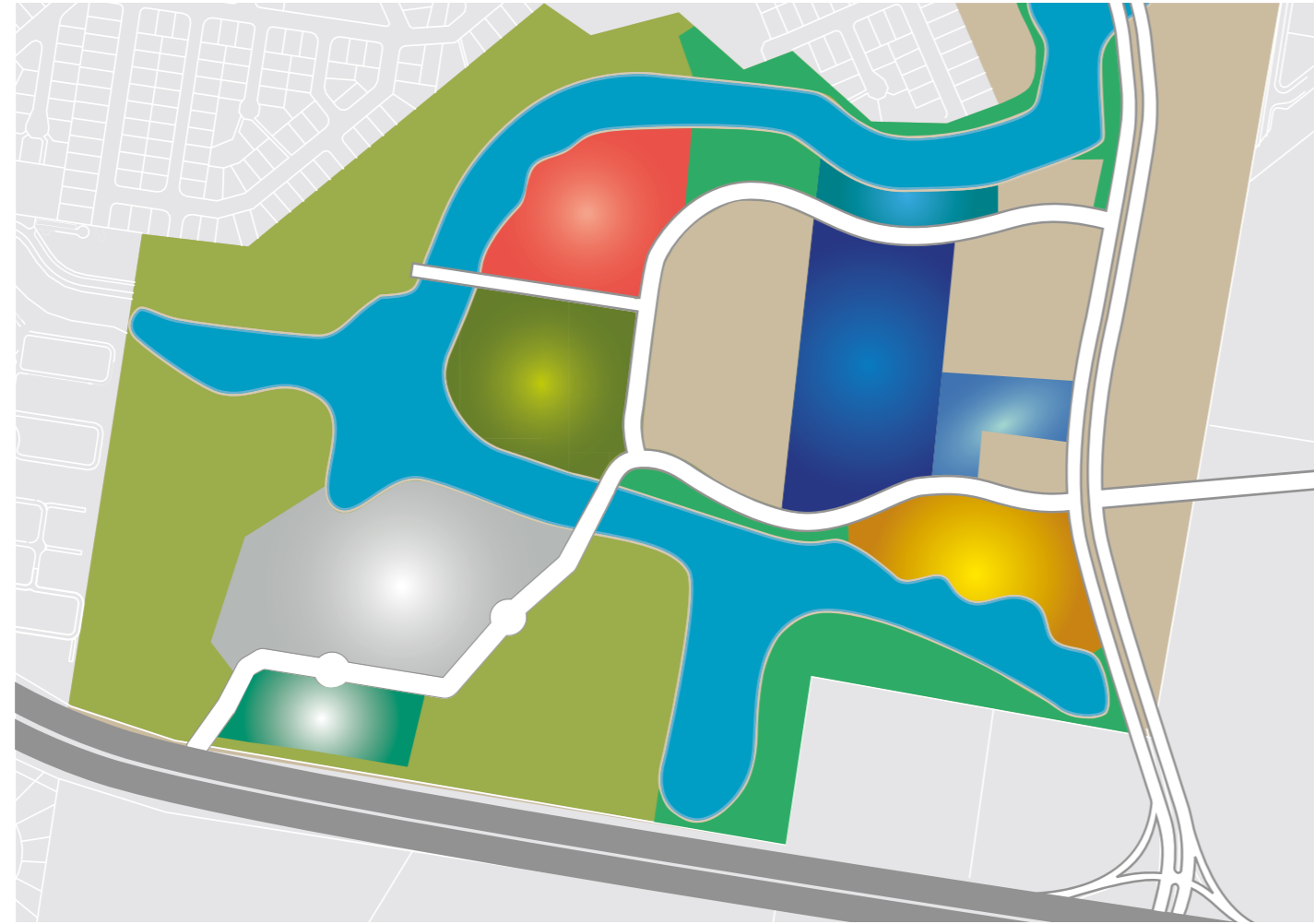
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# 1. INTRODUCTION

The Precinct Design Guidelines have been developed to provide Buyers, architects and builders with a clear and concise understanding of the design requirements and considerations for each individual home site.

Adjacent to the Mackenzie Precinct, the Hervey Precinct will feature an array of parkfront and laneway terrace allotments and bring more of our highly desirable and affordable urban allotments. Offering a diverse product range this precinct will see more than 70 new homes being built, adding an even greater depth to our evolving community at Sunshine Cove.

Sunshine Cove, recently awarded 2016 UDIA National Award for Excellence for Residential Development, is well on the way to becoming a popular and vibrant community, transforming Maroochydore and the Sunshine Coast forever.



## SUNSHINE COVE PRECINCTS

- HERVEY PRECINCT
- BRIGHTON PRECINCT
- WISES PARK
- MACKENZIE PRECINCT
- SARINA PRECINCT
- RESIDENTIAL DEVELOPMENT
- TRINITY PRECINCT
- MORETON PRECINCT
- COMMERCIAL DEVELOPMENT
- SAVANNAH PRECINCT
- FLINDERS PRECINCT

# 2. HERVEY PRECINCT SUBDIVISION PLAN



### 3. DESIGN VISION

Featuring 70 residential freehold allotments, the Hervey Precinct, will be developed utilising the success and experience of earlier stages at Sunshine Cove. We have again focused on a diversified mix of product including the versatile and popular terrace allotments surrounded by natural green spaces, as well as a good mix of product to suit all budgets.

Incredibly the new Maroochy CBD, SunCentral will be an easy and relaxed walk over the bridge and along the waters edge - all the convenience of CBD living without the hustle and bustle.

Each stage has seen further architectural enhancement and designs, highlighting current trends and future practices resulting in a diverse and attractive range of two and three storey homes. The homes at Sunshine Cove reflect our Buyers' desires, each home is designed on individual lifestyle objectives focussed on our enviable lifestyle.



### 4. PROTECTIVE COVENANTS AND DETAILED AREA PLANS

#### 4.1. COVENANTS

The Developers of Sunshine Cove will require Buyers to enter into these protective covenants as detailed in the Hervey Precinct Design Covenants. These covenants will facilitate standards of design for individual dwellings and residential streetscapes without limiting choice and opportunity for independent design or sustainable living considerations.

#### 4.2. DETAILED HOUSING PLANS

Detailed housing plans will be required as part of the building approval process. These plans will be prepared by the Buyer, at the Buyers cost, to illustrate elements such as building envelope locations, outdoor living areas and courtyard locations, garage locations, and building heights.

#### 4.3. OTHER APPLICABLE DOCUMENTS

The Hervey Precinct Design Covenant is to be read in conjunction with any other relevant and current statutory documents including, most particularly Plan of Development (RPS Australia East Setback Plan 22153-203N), the Queensland Development Code, Building Code of Australia and Standard Building Regulation.

Buyers, builders, designers, architects and planners are urged to ensure best practice during planning and construction.

It is the owners, builders, and building certifiers responsibility to ensure compliance with relevant building standards in relation to common 'built to boundary' walls with respect to termite protection, water proofing and drainage to ensure no external impact to neighbouring properties.

The developers suggest parties contact Queensland Building and Construction Commission (QBCC) and the Sunshine Coast Regional Council to ensure they are adhering to best practice and are up to date on legislative requirements and changes.



## 5. APPROVAL PROCESS

### 5.1 DESIGN ENDORSEMENT BOARD

Development and construction proposed for the home sites will require the endorsement of the 'Sunshine Cove Design Endorsement Board'. Appointed by the developer, the Board comprises of a representative from the developer, an architect and a town planning professional, who will each review the proposed house plans to ensure compliance with the Hervey Precinct Design Covenant.

An electronic copy of the full set of working drawings including site plan, floor plan, elevations including proposed built form, external materials and finishes / colours and include location of air conditioning units, TV antennas, solar heating panels, rainwater tanks (optional), along with a detailed design for pools, spas, landscaping and fencing, must be provided to the developer for review.

### 5.2 BUILDING APPROVAL

Once approval is received, the plans will need to be submitted for building approval through the Sunshine Coast Regional Council or alternatively a private certifier. It is the applicant's responsibility to ensure appropriate documentation and fees are submitted for approval.

A copy of the approved house plan will remain the property of the Developer for the purpose of future lot specific referencing. The Buyer acknowledges that the Developer may provide a copy of elevation detail to adjoining property owners to enable complimentary designs to be enacted. Copyright of approved designs remains the property of the Buyer or the Buyers architect / designer and the Buyer indemnifies the Developer against any breach of this.

The Buyer acknowledges that the risk in relation to, seeking and obtaining, the approval of the Council to the plans and specifications, rests solely with the Buyer notwithstanding that such plans and specifications may have been approved by the Seller.

Prepare house design drawings in accordance with Hervey Precinct Design Covenant.

Submit house design drawings for review and approval by Sunshine Cove Design Endorsement Board.

For approval you will need to supply an electronic copy of:

- a) Building plans (1:100 A3)
- b) Elevations and sections of house
- c) External finishes schedule
- d) Location of air conditioning units, solar panels, television antennas, satellite dishes, rainwater tanks as required
- e) Pool and or spa plans including location of pumps, filters and heaters
- f) Landscape and fencing plans
- g) Acoustic Report

Design is reviewed by Sunshine Cove Design Endorsement Board.

**Variations required.**  
Amend house design and resubmit for approval by Sunshine Cove Design Endorsement Board

Approval is issued by Sunshine Cove Design Endorsement Board.

Submit SCDEB approved detailed house design drawings to Sunshine Coast Regional Council or private certifier for Building Application approval with a copy of the Acoustic Report.

Building Approval issued by local authority or private certifier.

Engage Builder and commence construction.



## 6. BUILDING FORM

### 6.1 BUILDING APPEARANCE AND STREETScape

Home designs should be reflective of Sunshine Coast lifestyle, architecture focus and type. Building elevations should feature a composite of external wall finishes with elevations to be articulated to provide visual interest. Blank facades are to be avoided through the provision of projections and indentations on floor plans with resultant shadow effects and corresponding roof elements. The street façade of the building should be detailed to provide visual richness as well as enabling sustainable and environmental considerations to be implemented (reflective of individual identity). This can be achieved through:

- The application of colour, texture and changes in materials;
- The use of elements such as awnings, balconies and glazing;
- Front entries clearly identifiable from the street through elements such as porticos, porches, entry statements etc;
- Elevations, to reflect the desired character through the application of a mix of materials and colours as, outlined in the introduction and section 6.2 *Wall Materials*;
- For lots 53-63, a structural element of the building or dedicated enclosed pedestrian entry must project forward of the garage so the garage is not the dominating feature.

On all residential lots, a minimum 2m front setback must be maintained to all structures including eaves, further, a minimum 1m setback must be maintained to all structures including eaves for side boundaries which adjoin laneways, roads, parks, landscape buffers and pedestrian links.

### 6.2 SECONDARY STREET ELEVATIONS

To promote sustainable building practices and enhance aesthetics, diversity and security on corner lots are required to address both the primary and secondary streets. The secondary street elevation is to feature a suitable level of detail including windows, consistent with that of the primary street elevation and blank walls are to be avoided.

### 6.3 PRIVATE OPEN SPACE

Each design is required to include private open space of at least 16m<sup>2</sup> in size, that has no dimension less than 3m, and is accessible from the living area of the dwelling. All private open space areas are to remain uncovered.

Lots 8-13 and Lots 53-63 must have private open space located behind the building form and not located adjacent the primary street frontage. Private open space on Lots 7 and 64 may be located near the primary street frontage but must be adequately screened by a 2.0m high solid barrier, preferably integrated with the boundary fencing but recessed to allow screen planting.

All lots fronting Sunshine Cove Way must have private open space located behind the building form and must not be located adjacent the street frontage.

### 6.4 ACOUSTIC REQUIREMENTS

Building construction must comply with the noise category identified in the "Sunshine Cove Residential Precinct 8 - Southern Precinct Sunshine Motorway Road Traffic Noise Assessment prepared by SLR Consulting Australia Pty Ltd (620.11062-R4)". This report takes into account the effectiveness of the acoustic fence constructed with the Hervey Precinct and reduces the noise categories identified for buildings in 'Transport Noise Corridors'. An acoustic report will be required to ensure compliance of the house design to the appropriate noise category.

### 6.5 BUILT TO BOUNDARY EASEMENTS

Lots which are 300 m<sup>2</sup> or less in size have a High Density Development easement registered over all built to boundary walls in accordance with Division 4AA of the Land Title Act 1994 for the purposes of entering the burdened lot for on-going maintenance of the building and managing roof water drainage.

### 6.6 BUILT TO BOUNDARY WALLS

The benefits of the Sunshine Cove 'built to boundary' terrace lots are primarily the ability to maximise the building envelope within the allotment whilst maintaining privacy. Depending upon the allotment, 'built to boundary' walls are designated as either mandatory or optional.

Mandatory 'built to boundary' walls require a two storey wall to be constructed no closer than 25mm from the property boundary for either part, or the full length, of the building envelope. All mandatory built to boundary walls located on the western or southern side of the terrace allotment must be a full two storey high wall.

Optional 'built to boundary' walls provide greater flexibility by enabling the house designer to choose between locating the walls no closer than 25mm from the property boundary or setback the walls 1.0 to 1.5m from the side boundary.

House designers need to be aware that adjoining allotments often have similar 'built to boundary' wall entitlements. Measures should be taken to ensure that residential slabs must not be cold-joined with neighbouring residential footings or slabs. Boxing material (eg styrofoam, timber etc ) used to create the 25 mm setback must be removed along common boundaries.

House designers need to ensure that the 'built to boundary' wall does not negatively impact on the adjoining residence. Some of the design aspects which require careful attention are stormwater conveyance, water proofing, termite prevention and level changes between allotments.

The Queensland Building and Construction Commission (QBCC) are the legislative government body responsible and they can provide advice on best practice in these circumstances. In the event of defective building work that impacts upon you or your neighbours property QBCC may provide direction. Being aware during the design phase of such an issue can save time and money.

### 6.7 ZERO LOT BOUNDARY DETAIL - STORM WATER

The zero lot side boundaries enable builders to construct a side boundary wall as close as practical (25mm) to the side boundary of the allotment.

Design solutions for capturing and conveying stormwater on adjoining zero lot boundaries should be undertaken in accordance with the Building Code of Australia, Volume 2 (BCA):

- Performance Requirement P2.2.1;
- Part 3.1.2 Drainage; and
- Part 3.5.2 Gutters and Downpipes.

Compliance with the Building Code of Australia can be achieved by disposing of the stormwater in a way that avoids the likelihood of damage or nuisance to any other property.

As such, it is recommended that roofs are sloped to convey storm water either to the front or rear of the allotment (ie away from neighbouring allotments). Roofs sloping towards a neighbouring property require measures to ensure that water is not discharged onto the adjoining property. One such means is the use of a parapet wall concealing a box gutter.

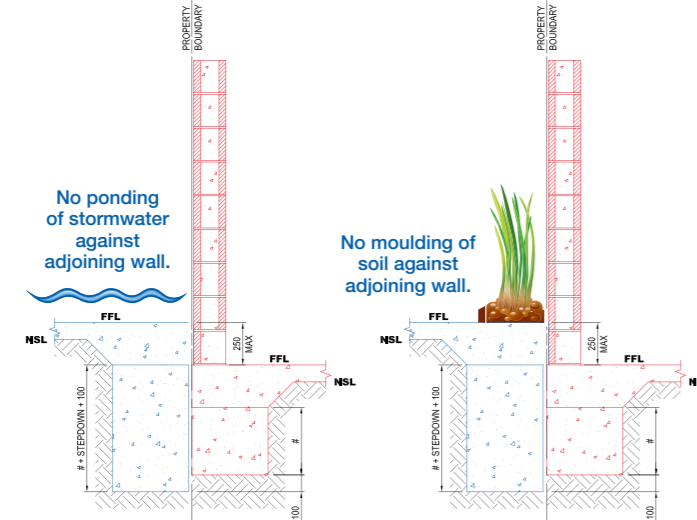


## 6. BUILDING FORM (CONT'D)

Where walls are constructed along the zero lot line the general practice has been to provide flashing and capping over the narrow gap to prevent water intrusion. These spaces can be ventilated by installing mesh screens vertically at the end of the walls.

Traditional housing designs have slotted gutters connected to the fascia which allow stormwater to be spilled through the slots when the capacity of the gutters are exceeded. This option is not recommended and has disadvantages over the long term for adjoining zero lot boundary walls:

- Excess water discharged onto the adjoining property has the potential to cause long term damage;
- Surface water ponding in close proximity to the building footprint;
- Creation of undue dampness that may result in water entering into a building;
- Water entry into a building may deteriorate building elements and affect the functional use creating a loss of amenity for the occupants; and

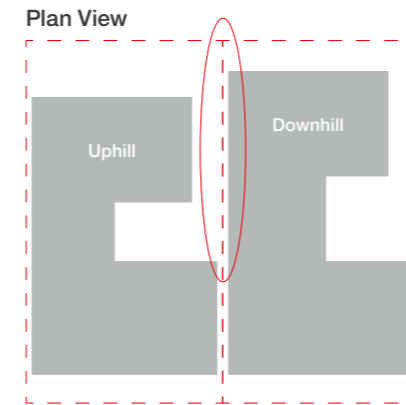
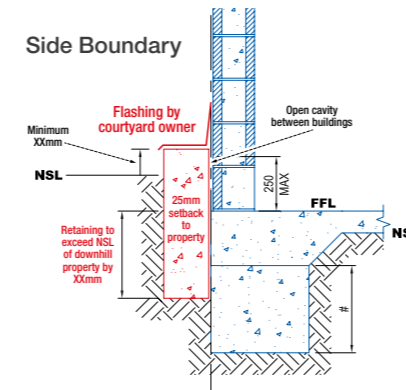


- The inability to effectively maintain the gutter or the void created between the two adjoining side boundary walls.

The Queensland Building and Construction Commission (QBCC) are the legislative government body responsible and they can provide advice on best practice in these circumstances. In the event of defective or non defective building work that impacts upon your or your neighbours property, QBCC may provide direction. Being aware during the design phase of such an issue can save time and money.

### 6.8 LEVEL CHANGES BETWEEN ALLOTMENTS

Situations may occur where 'built to boundary' walls abut one another and the final slab/allotment level differs between allotments. Care needs to be taken when detailing and constructing the second 'built to boundary' wall to ensure the integrity of the water proofing and termite control measures.



Non-'built-to-boundary' side walls, situated on the uphill side of another 'built to boundary' wall (on the downhill side) requires special consideration during detailed design to ensure compliance with the relevant building standards and to maintain the integrity of the downhill property with respect to termite protection, waterproofing etc.

House designers should be aware of specific building code requirements in relation to the ground level beside an adjoining slab and the civil/legal requirement that a property retains its own fill. There is no ability for a neighbouring 'built to boundary' wall to be used as a retaining wall for their neighbour, without a legal agreement in place to cover this outcome.

A possible design solution is to provide a retaining structure to the entire length of the uphill side boundary where there is no solid 'built to boundary' wall for the dwelling (and setback a minimum 25mm). This would ensure that the required separation distance between the neighbouring properties is maintained to address waterproofing and termite protection and allow for waterproofing/capping between the walls.

### 6.9 ROOF FORM

Roof pitches shall be complimentary to the home design with the following conditions to apply:

- Setbacks are measured to the wall of the building / structure. Eaves (excluding gutters) are permitted to extend up to 600mm within the setback area (other than where walls are built to boundary), provided a minimum side boundary clearance of 450mm is achieved, of 500mm to the western side street boundary.
- At gables the roof verge is to have minimum 200mm overhang.
- Flat roofs shall generally be hidden behind parapets.
- For habitable spaces within a roof, the pitch maybe broken by dormer windows.

### 6.10 WINDOW

Bay Windows may extend up to 0.5m into the front setback area and side street setback for corner lots.

To ensure privacy to adjoining and or neighbouring allotments, side walls must be setback from the side property boundary where windows have been installed and these windows must provide sufficient adequate screening to enhance livability, security and privacy.

### 6.11 ENTRANCE PORTICOS

Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks on Pages 22 to 40, provided that:

- the portico is located not less than 2.0m from the front property boundary (1.0m for all laneway terrace);
- the height of the portico does not exceed 4.5m,
- the portico remains open and not enclosed; and
- the width of the portico is limited to the front entry only.

### 6.12 PORCHES, BALCONIES AND VERANDAHS

Porches, balconies, verandahs or similar may extend up to 1.0m into the front setback area (excluding laneway terrace lots) and the side street setback for corner lots, provided they remain open and not enclosed.

### 6.13 POOLS

The use of pools and spas is determined by standard building requirements. Pools and or spas, pool equipment including electrical pumps along with pool fencing must comply with the Queensland Building requirements as well as Sunshine Coast Regional Council bylaws.

## 6. BUILDING FORM (CONT'D)

### 6.14 BUILDING HEIGHT, SITE COVER AND SETBACKS

The maximum allowable height for all dwellings, the site cover and setbacks for individual allotments is to be as shown on the approved RPS Setbacks Plan 22153-203N for all created allotments and is detailed in sections 16 to 25 of these covenants.

### 6.15 SITE LEVELS AND RETAINING WALLS

To maintain views and avoid overlooking issues, additional retaining on existing retained boundaries is not permitted. Existing site levels may not be raised by more than 200mm without the specific written approval of the Developers of Sunshine Cove.

The level between slabs where there is a level change between lots must not exceed 250mm. All retaining walls must be located within the lot they retain and be a maximum 1.5m high where fronting a street.

### 6.16 FILL

It is acknowledged that the lots may have been filled. It is the Buyers responsibility to make their own investigations to satisfy any proposed building operation as to the suitability of any footing, foundations or proposed construction given the nature of the lot as to any requirements in that regard. All costs associated with this will be at the Buyers expense.





## 7. BUILDING MATERIALS

### 7.1 ROOF MATERIALS

#### Corrugated Metal Roofing

Corrugated metal roof sheeting is to be of low or neutral visual impact from the specified range of Colorbond colours or Zinalume finish. Bright or dark, heat-absorbing colours are not encouraged. Roof colours are to be selected from the following Colorbond range: (or equivalent) Windspray, Shale Grey, Classic Cream, Surfmist, Dune, Bushland, Sandbank, Ironstone, Pale Eucalypt, Woodland Grey, Paperbark, Jasper.

#### Tiled Roofs

In keeping with the promoted contemporary urban form, roof tiles must be low profile slate style in neutral colours. Overly bright colours such as reds, greens or blues and black, dark or deep terracotta colours are not encouraged as they are considered to absorb greater levels of summer heat than lighter colours. Such other colours that achieve a solar absorption value of the roof of not more than 0.55 to achieve 5 star building compliance will also be considered.

### 7.2 WALL MATERIALS

Walls visible from a street or other public space should feature a composite of construction finishes. A dominant material such as painted or coloured render/bagging, face brickwork, stone, rammed earth or blockwork is to be complemented by minor elements of alternative materials with selections from the following:

- Face and rendered/painted brickwork/blockwork of contrasting colours;
- Stone cladding;
- Clear glazing;
- Weatherboards, painted or natural finish;
- Corrugated sheet metal cladding in custom or mini orb profile in Colorbond or Zinalume finish;

- Compressed fibre cement cladding.
- Natural or raw concrete facades or in their use as a wall material must be finished through the use of paint, render or cladding to compliment the buildings colours.

The Buyer will agree to render any external walls that are visible from the adjoining neighbouring allotment or allotments, with particular but not limited to, built to boundary walls that are visible from the next allotment. The render must be paint finish and done to the full height of the house construction.

Tilt up or precast concrete will only be approved for internal walls or where the design exhibits sufficient components of detail and glazing to satisfy the spirit of the guidelines and must comply with the Queensland Development Code.

The use of recycled building materials are also encouraged, to compliment the environmental sustainable philosophy of Sunshine Cove.

### 7.3 WINDOW MATERIALS

Security screens and doors fitted to external windows and doors on all external and visible faces are to be wire mesh only with no visible reinforcing to enhance natural ventilation. Honeycomb or similarly reinforced security screen are not encourage or permitted.

## 8. COLOUR

The use of colour will be a valuable means of unifying buildings within Sunshine Cove. In keeping with regional architecture, base colour indicators should be derived from the local natural elements.

The intent is not to stifle expression, rather to provide compatible base colours, which can be accentuated through the application of tonal variations and accent colours. In keeping with regional architecture and sustainable building practices.



## 9. FENCES

### 9.1 FRONT STREET FENCES

In order to enhance the sense of community fostered at Sunshine Cove, fencing proposed for a primary street boundary is to be low to maintain an open streetscape which facilitates visibility and casual cross surveillance. This is preferred to be in the form of a low rendered masonry wall to a maximum height of 1.2m, above this height the fence must be 50% transparent. For piers and 0.8m for permeable panels.

### 9.2 SECONDARY STREET FENCES

In line with the requirement for corner residences to address both streets, any fencing along the corner truncation and at least to the setback of the front boundary of the first habitable room of the secondary street boundary is required to be a continuation of low or visually permeable front fencing. The balance of secondary street fencing may be solid to suit particular privacy requirements.

### 9.3 TERRACE DIVIDING FENCES

All fences dividing adjoining properties shall be a minimum height of 1.8m and constructed of rendered block, masonry or similar. Such fencing shall not project past the adjoining front building line. Dividing fencing in front of the building line shall be low or visually permeable as required for a front fence. Rendered block inserts to a maximum of 1.8m must be installed to terrace boundaries.

To maintain privacy and neighbourhood acoustics on terrace and urban allotments side boundary fencing must be solid either block and or masonry and to a height of 1.8m, and be reflective of the house type and colour.

### 9.4 FENCING PROVIDED BY THE DEVELOPER

Where desirous, the Developer, at their discretion may construct boundary fencing where it is determined that consistency of design and materials will be beneficial to the amenity of the project.

### 9.5 FENCING MATERIALS

Fencing for allotments adjoining public land is to be low to maintain an open streetscape, which facilitates visibility and casual cross surveillance. The maximum length of any non articulated fence is 4m, without a landscaped recess or feature panel of 2m. The use of residential pool grade fencing (except to the water side of waterfront allotments), colorbond capped metal, corrugated fibre cement, standard wooden paling boundary fencing is not permitted.

Any other fencing must match the type, quality and colour installed by the Developer, and only after approval in writing by the Developer. Built to boundary wall is mandatory where shown on the plan. Where built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setback Table for non-built to boundary walls.

For terrace lots built to boundary walls shall not exceed the front or rear setbacks for the lot.



## 9. FENCES (CONT'D)

On corner terrace lots, optional built to boundary walls fronting the street or lane shall not exceed two storeys or 7.5m in height.

Notwithstanding the Dividing Fences Act 1953 as amended to the contrary, the Buyer shall not make any claim against the Seller / developer for contribution to the construction of any dividing fences on or within boundaries or between the Lot, or any adjoining lot owned by the Seller.

Fencing to all boundaries of the land other than those to which fencing is restricted by these covenants shall be erected before occupation of the dwelling. Where the Buyer does not intend to construct a front fence, low planting and or hedging may provide suitable screening or privacy.

### 9.6 FENCING COLOURS

Where fencing is provided by the Developer, the property owner shall not permit any repairs, patching or repainting other than in the same finish and colours as existing, otherwise:

Masonry: Masonry low fencing in front of the building should match or be complimentary to the base wall colour.

Palisade Infill Panels: Where incorporated into front fences, timber palisade infill shall be coloured white or off white.

## 10. BOUNDARY WALLS

Built to boundary wall is mandatory where shown on the plan. Where built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setback Table for non-built to boundary walls.

For terrace lots built to boundary walls shall not exceed the front or rear setbacks for the lot.

On corner terrace lots, optional built to boundary walls fronting the street or lane shall not exceed two storeys or 7.5m in height.

The Buyer will agree to render any external walls that are visible from the adjoining neighbouring allotment or allotments, with particular but not limited to built to boundary walls that are visible from the next allotment. The render must be paint finish and done to the full height of the house construction.

Please refer to 5.5, 5.6, 5.7 and 5.8 for further detail.



## 11. RETAINING WALLS

All retaining walls must be located within the lot they retain and be a maximum 1.5m high where fronting a street.

- (a) Retaining walls constructed of concrete blockwork and located on the front boundary or within the front boundary setback area must be treated with a rendered finish and colour coordinated with the main building on the lot.
- (b) The Buyer acknowledges that the Seller may have caused the construction of a retaining wall on the boundary of the Lot. The Buyer or someone acting on its behalf shall not, when excavating or building on the Lot, interfere with or undermine the structural integrity of the retaining wall. The Buyer agrees to indemnify and keep harmless the Seller and any other affected person (eg. adjoining land owner) from any breach of this covenant.

## 12. ESTATE WALLS

Estate walls that have been installed by the Seller / Developer, for the purpose of enhancing the value of the Lot and also the Estate generally, will not be permitted to be removed, changed, damaged or altered.

## 13. LANDSCAPING

All landscaping works are to be of high quality and complementary to the house design, are to be submitted for approval by the SCDEB along with house designs and should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.



## 14. VEHICLE ACCESS

Vehicle access is permitted from Roundbush Circuit, and the shared access driveway for lots 64 to 67 as shown on the plan.

Single garages are permitted where shown on the plan (to the exclusion of double garages).

Visitor parking is not permitted on the shared access driveway to lots 64 to 67.

On urban terrace lots, standard double garages may only front a lane. Single garages are permitted where shown on the plan (as detailed above).

## 15. DRIVEWAYS

Driveways should be constructed of concrete with exposed aggregate or stamped or stencilled surfacing, plain concrete driveways are not permitted nor allowed. Driveways should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

### 15.1 DRIVEWAYS INSTALLED BY DEVELOPER

Driveways and driveway crossovers that have been installed by the Developer may not be altered in any way by the Buyer or any person / entity engaged by or for the Buyer. Ongoing maintenance of these areas will be the responsibility of the Buyer.

Driveways need to join the existing driveway crossover located on the kerb. Driveways within the road verge are not to be wider than the crossover, as per the approved Plan of Development.

## 16. COMPLIANCE

### 16.1 SUSTAINABLE BUILDINGS

Buildings must comply with the current Queensland Development Code, Sustainable Buildings for water conservation, energy efficient lighting and hot water.

### 16.2 SITE SERVICES

All piped and wired services including waste and vent pipes, refrigerant lines and cable ducts are required to be built into walls and are not to be visible from the street or adjoining properties.

### 16.3 LETTER BOXES

Letter boxes can be installed on laneways or road frontages. Emergency services require a street number to be installed on the laneway. Another street number may need to be installed at the park or road frontage for visitors.

### 16.4 RUBBISH BINS

PVC or bulk rubbish bins should not be visible from public areas except on rubbish collection days. Bins shall be located in a screened storage area, with consideration shown for neighbouring properties.

### 16.5 STORES AND OUTBUILDINGS

All dwellings are to have a store with a minimum area of 4m<sup>2</sup>, provided under the main or garage roof and accessible from either outside the dwelling or within the garage area. The storage area excludes laundry equipment, clotheslines and utilities. Separate outbuildings visible from any public area are required to be constructed of wall and roof materials to match the main dwelling, to maintain compliance of building requirements. Colorbond style metal sheds / lawn lockers or similar are not permitted where visible from public areas.

### 16.6 AIR CONDITIONERS

As air conditioning plant is noise generating and often unsightly, its impact on adjoining properties and public areas is to be mitigated.

Air conditioning is preferred to be located at ground level to minimise the impact on neighbours and is to be visually concealed from public areas. Any roof mounted air conditioning or evaporative cooling plant is required to be located so as to not be visible from a street or public open space and is to be finished in a colour to match that of the roof.

Any balcony plant is to be visually and acoustically screened from adjacent dwelling units and visually screened from streets and other public areas.

### 16.7 TV ANTENNAE AND SATELLITE DISHES

TV antennae are to be located within the roof space or to the rear of the roof, wherever reception permits but not visible from any principle street frontage.

### 16.8 SOLAR COLLECTORS

In line with sustainability principles, the use of gas boosted solar hot water and swimming pool heating systems is encouraged, however solar collectors must not be visible from public spaces unless there is no other location which affords suitable solar exposure. In this case they should be installed on the plane of the roof, with water tanks ideally located within the roof space.

### 16.9 RAINWATER TANKS

The use of rainwater tanks are encouraged and where possible these should not be seen from public areas. The use of underground or roof cavity rain water tanks is preferred. Tank capacity is as per Sunshine Coast Regional Council policy for stormwater mitigation.

### 16.10 CLOTHES LINES AND DRYING AREAS

These should be located to access winter sunshine and prevailing breezes and shall not be visible from public areas or neighbouring allotments or from the street or lane.

### 16.11 PARKING, TRAILERS, CARAVANS AND SIMILAR VEHICLES

All cars are required to be parked within individual garages. Any other vehicle, including but not limited to caravans, trailers, boats, jet skis, motorbikes, are to be parked/ housed within the property boundaries and should not be visible from public areas.



DETAIL

URBAN TERRACE ALLOTMENT  
Lot 65

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	
Built to Boundary Wall	0.025m*
Side Setback - (1st & 2nd storey)	
Non Built to Boundary Wall	n/a
Side setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	Alternative Tandem Garage along Built to Boundary Wall
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

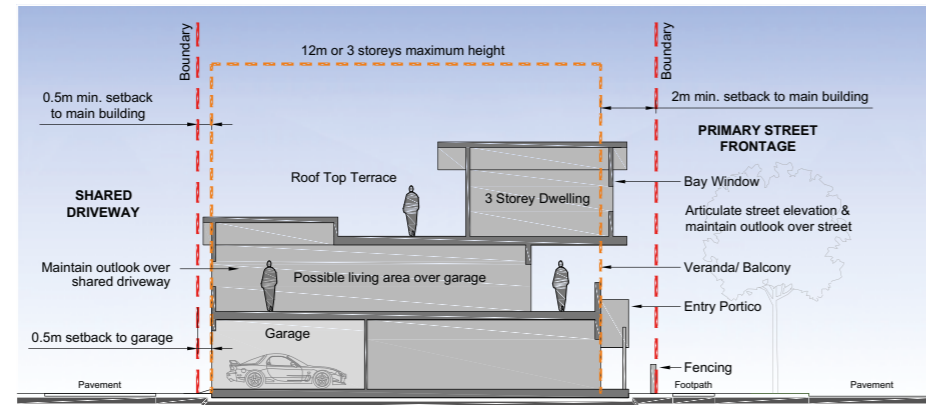
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

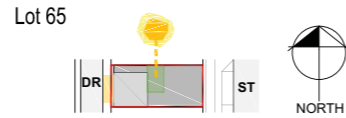
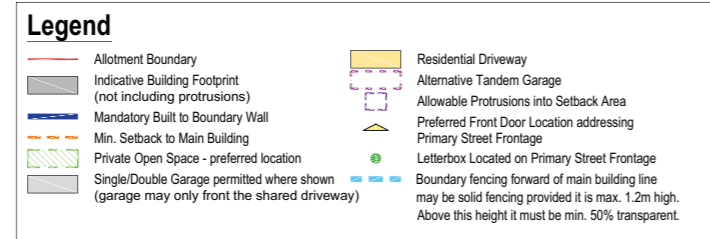
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



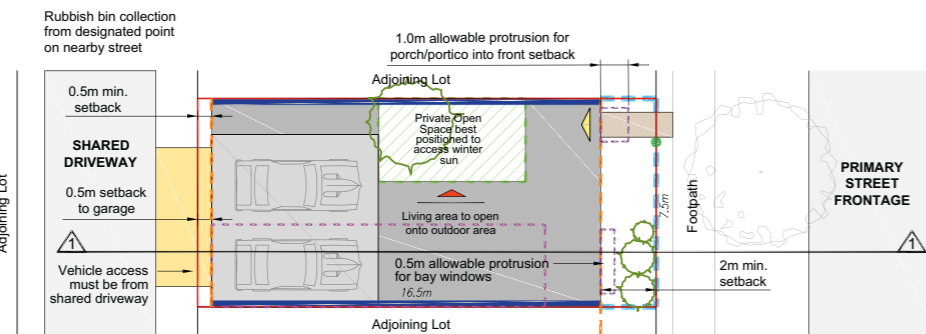
17. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT



Indicative Section 1-1

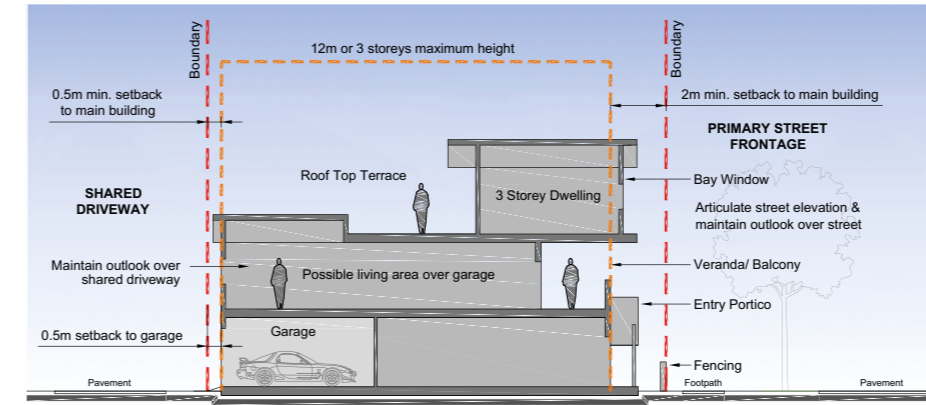


Solar Orientation Diagram

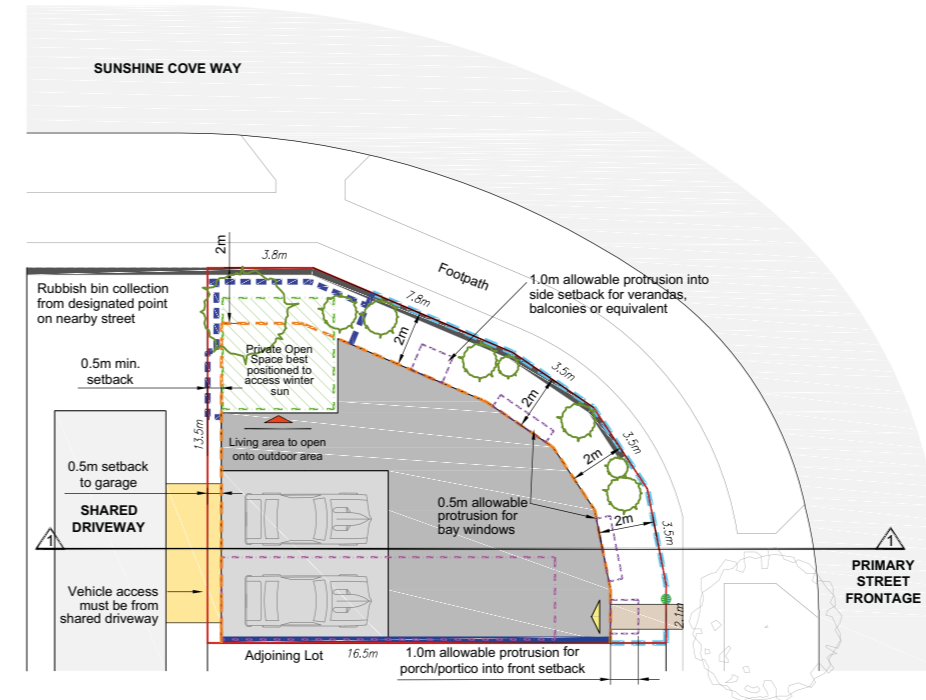


Note: drawings are not to scale

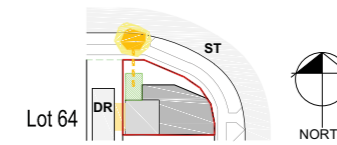
18. SITE SPECIFIC CONSIDERATIONS CORNER URBAN TERRACE ALLOTMENT



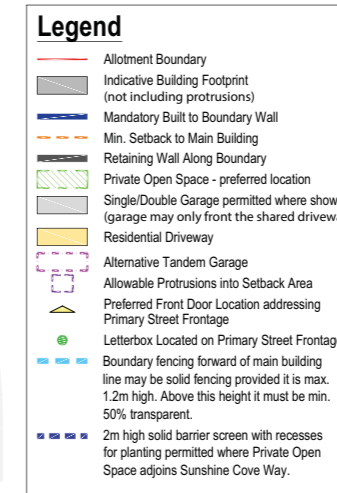
Indicative Section 1-1



Note: drawings are not to scale



Solar Orientation Diagram



DETAIL

CORNER URBAN TERRACE ALLOTMENT  
Lot 64

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	
Built to Boundary Wall	0.025m*
Side Setback - (1st & 2nd storey)	
Non Built to Boundary Wall	0.5m to laneway
Side setback to Street (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer	Alternative Tandem Garage along Built to Boundary Wall
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



DETAIL

URBAN LANEWAY ALLOTMENTS  
Lots 66 and 67

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	5.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side setback to Street (Corner Lots)	n/a
Single Garage Only Along Boundary wall or otherwise indicated by developer – Tandem allowed.	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

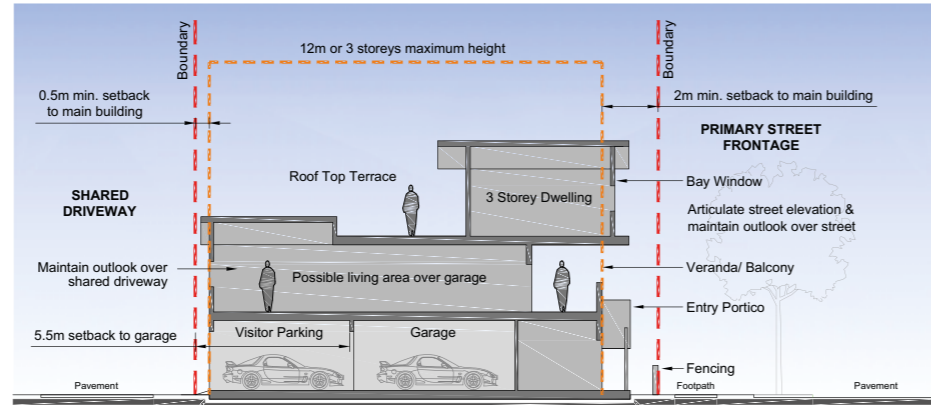
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

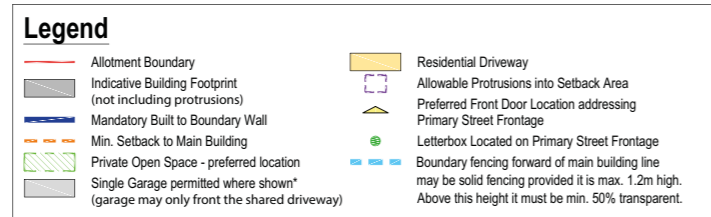
Single Garage Only permitted. There must be one visitor car parking space in front of garage that is NOT enclosed. Garage with a segmented panel lift or rollerdoor.



19. SITE SPECIFIC CONSIDERATIONS URBAN LANEWAY ALLOTMENTS

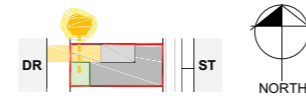


Indicative Section 1-1

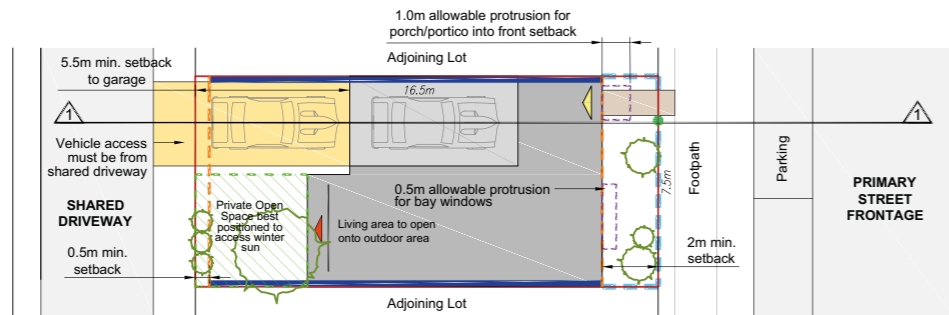


\* Double garage not permitted. Single garage only permitted. There must be one visitor car parking space in front of garage that is not enclosed but can be built above.

Lots 66 & 67

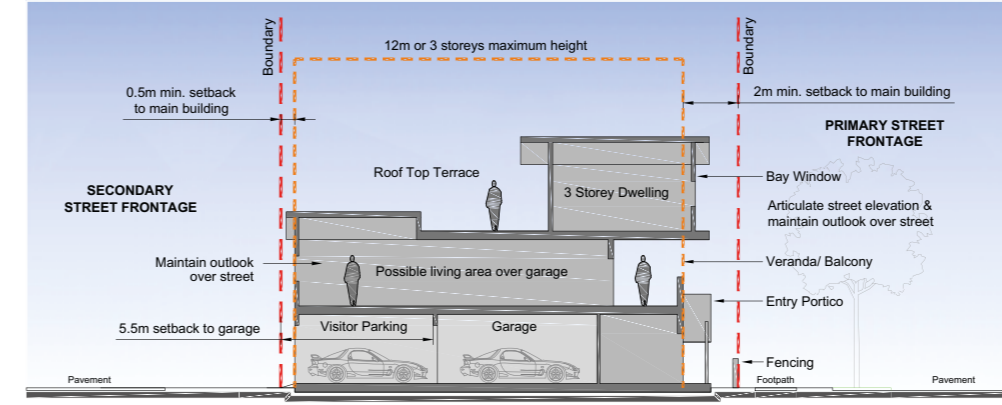


Solar Orientation Diagram

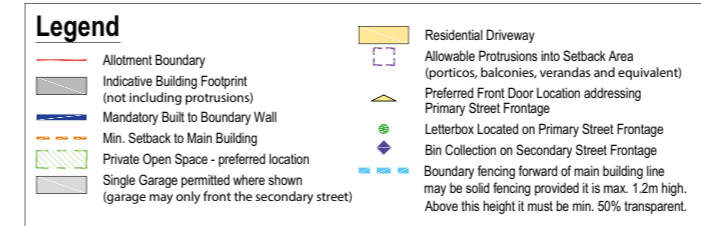


Note: drawings are not to scale

20. SITE SPECIFIC CONSIDERATIONS URBAN LANEWAY TERRACE ALLOTMENTS

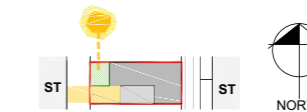


Indicative Section 1-1

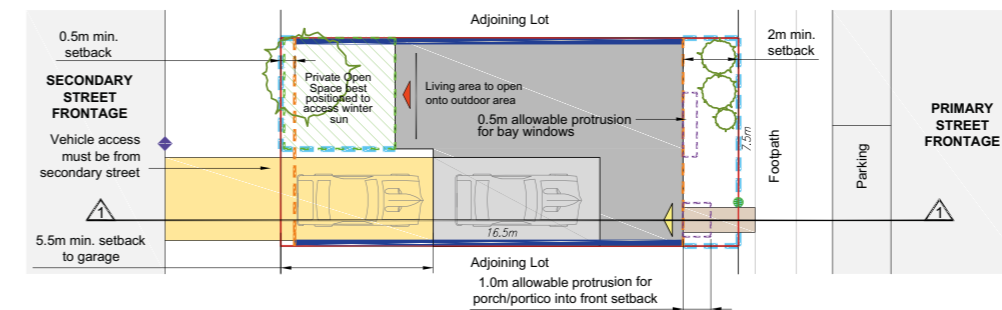


\* Double garage not permitted. Single garage only permitted. There must be one visitor car parking space in front of garage that is not enclosed but can be built above.

Lots 68 & 69



Solar Orientation Diagram



Note: drawings are not to scale

DETAIL

LANEWAY TERRACE ALLOTMENTS  
Lots 68 and 69

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	5.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	n/a
Single Garage Only Along Boundary wall or otherwise indicated by developer – Tandem allowed.	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

Single Garage Only permitted. There must be one visitor car parking space in front of garage that is NOT enclosed. Garage with a segmented panel lift or rollerdoor.



DETAIL

CORNER URBAN LANEWAY ALLOTMENT  
Lot 70

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	5.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	2.0m
Side setback to Street (Corner Lots)	2.0m
Single Garage Only Along Boundary wall or otherwise indicated by developer – Tandem allowed.	
Site Cover (maximum)	n/a

**Building Height**  
Maximum Building height shall be 3 storeys (12m above natural ground level).

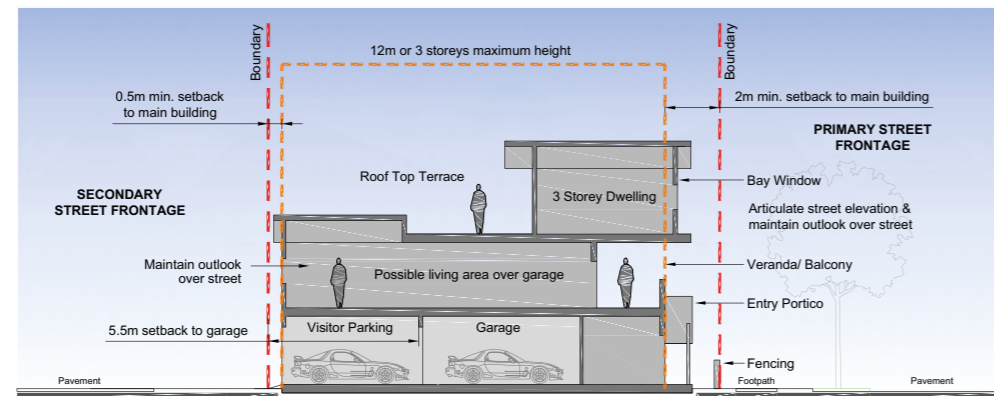
For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

**Outdoor Living Space**  
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

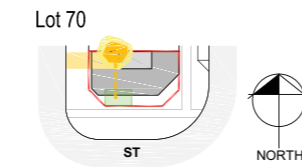
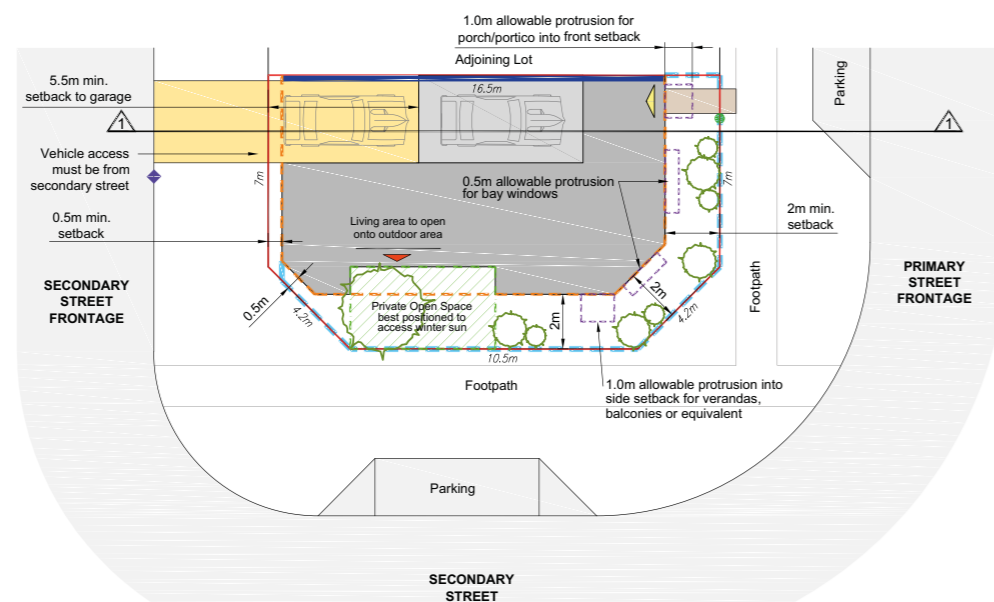
**Parking**  
Single Garage Only permitted. There must be one visitor car parking space in front of garage that is NOT enclosed. Garage with a segmented panel lift or rollerdoor.



21. SITE SPECIFIC CONSIDERATIONS CORNER URBAN LANEWAY TERRACE ALLOTMENT



Indicative Section 1-1



Solar Orientation Diagram

**Legend**

- Allotment Boundary
- Indicative Building Footprint (not including protrusions)
- Mandatory Built to Boundary Wall
- Min. Setback to Main Building
- Private Open Space - preferred location
- Single Garage permitted where shown\* (garage may only front the secondary street)
- Residential Driveway
- Allowable Protrusions into Setback Area
- Preferred Front Door Location to Address Primary Street Frontage
- Letterbox Located on Primary Street Frontage
- Bin Collection on Lane
- Boundary fencing forward of main building line may be solid fencing provided it is max. 1.2m high. Above this height it must be min. 50% transparent.

\* Double garage not permitted. Single garage only permit. There must be one visitor car parking space in front of garage that is not enclosed but can be built above.

Note: drawings are not to scale

22. SITE SPECIFIC CONSIDERATIONS CORNER URBAN LANEWAY TERRACE ALLOTMENTS

DETAIL

LANEWAY TERRACE ALLOTMENTS  
Lots 1, 14, 19, 26, 38, 39 and 49

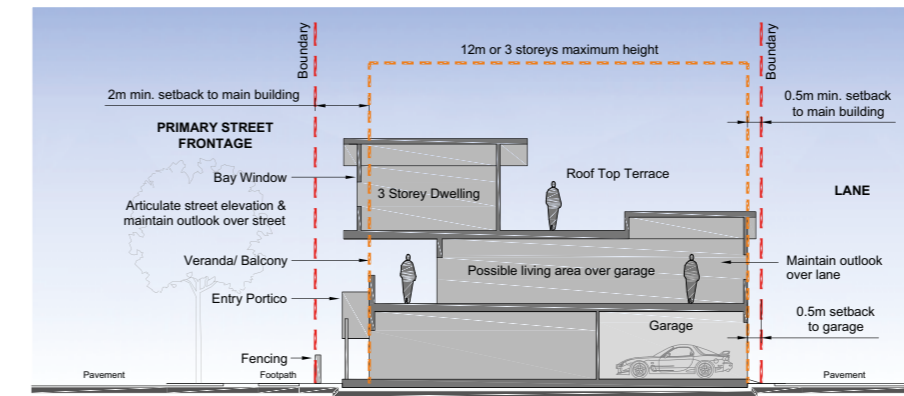
Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	2.0m
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

**Building Height**  
Maximum Building height shall be 3 storeys (12m above natural ground level).

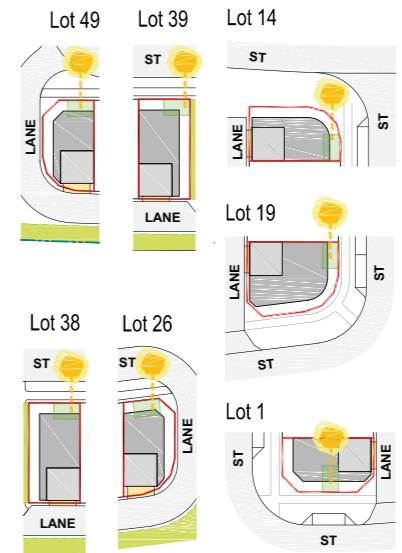
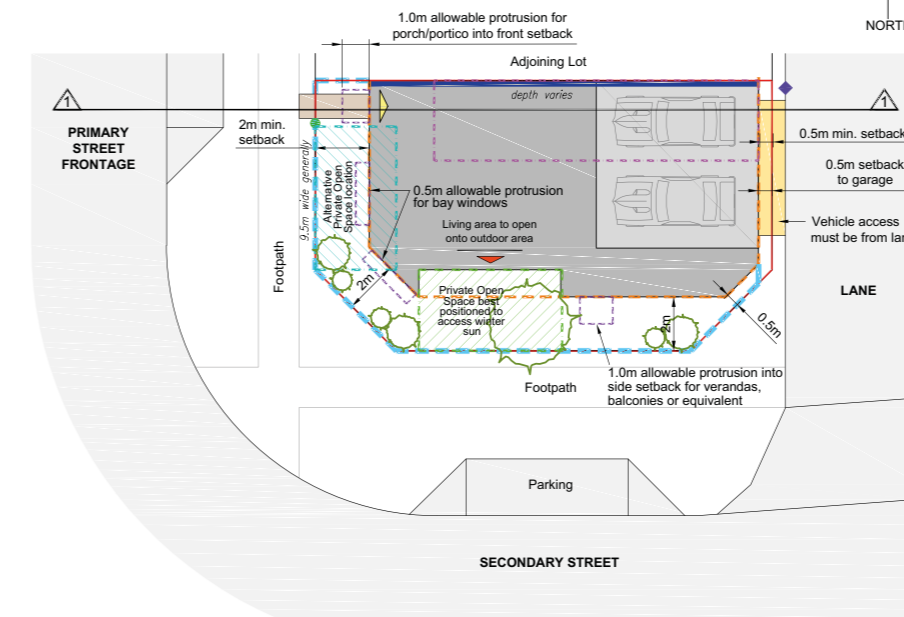
For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

**Outdoor Living Space**  
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

**Parking**  
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



Indicative Section 1-1



Solar Orientation Diagrams

**Legend**

- Allotment Boundary
- Indicative Building Footprint (not including protrusions)
- Mandatory Built to Boundary Wall
- Min. Setback to Main Building
- Private Open Space - preferred location
- Private Open Space - alternative location
- Single/Double Garage permitted where shown (garage may only front the lane)
- Residential Driveway
- Alternative Tandem Garage
- Allowable Protrusions into Setback Area
- Preferred Front Door Location to Address Primary Street Frontage
- Letterbox Located on Primary Street Frontage
- Bin Collection on Lane
- Boundary fencing forward of main building line may be solid fencing provided it is max. 1.2m high. Above this height it must be min. 50% transparent.

Note: drawings are not to scale



DETAIL

CORNER URBAN LANEWAY TERRACE ALLOTMENT  
Lot 7

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	2.0m
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

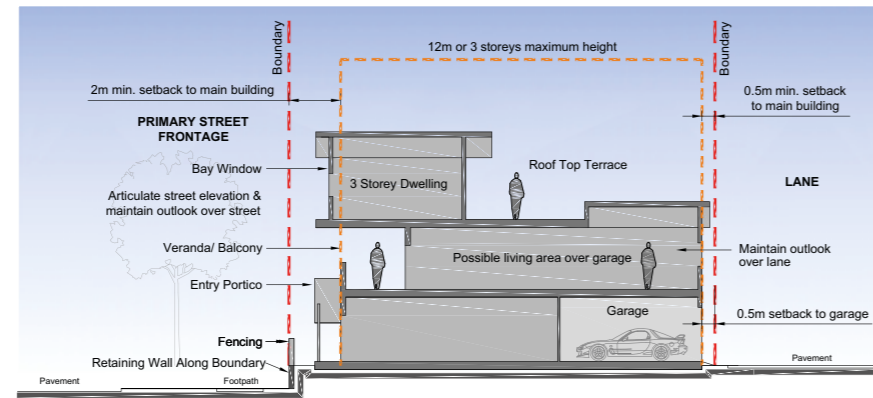
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

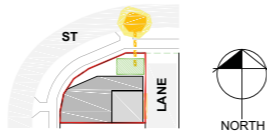


23. SITE SPECIFIC CONSIDERATIONS CORNER URBAN LANEWAY TERRACE ALLOTMENT

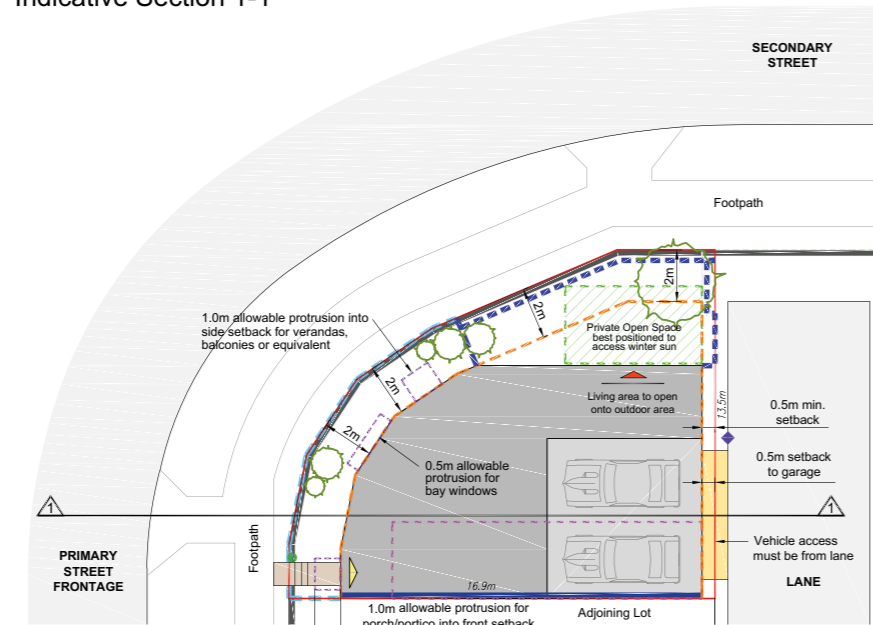
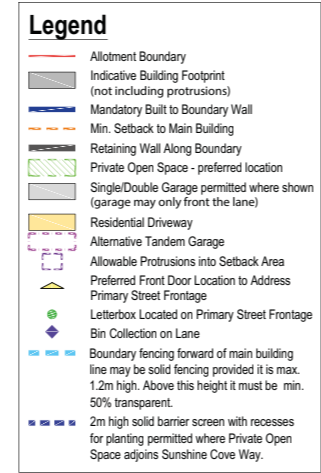


Indicative Section 1-1

Lot 7



Solar Orientation Diagram



Note: drawings are not to scale

24. SITE SPECIFIC CONSIDERATIONS LANEWAY TERRACE ALLOTMENTS

DETAIL

LANEWAY TERRACE ALLOTMENTS  
Lots 22 and 23

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

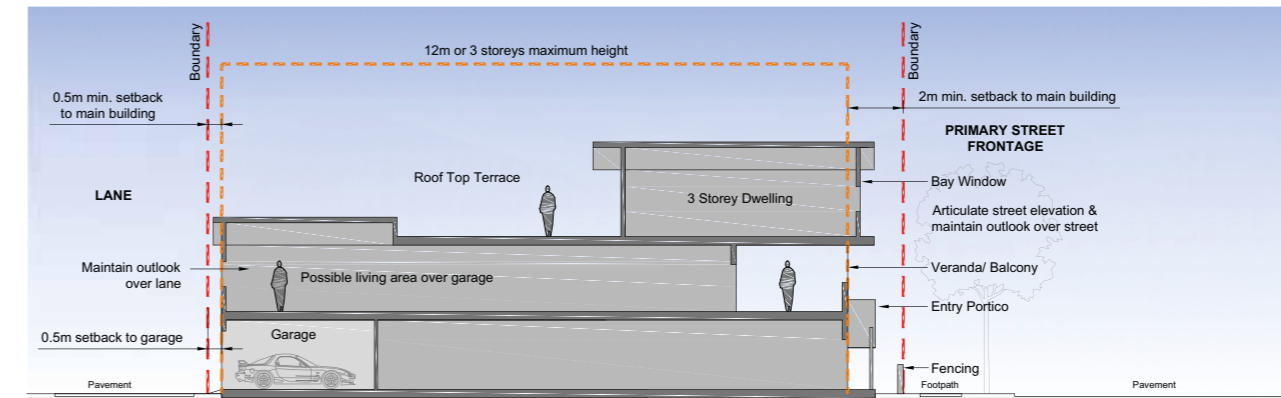
For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

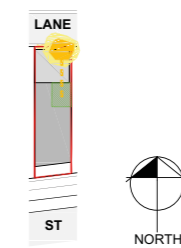
Parking

Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.

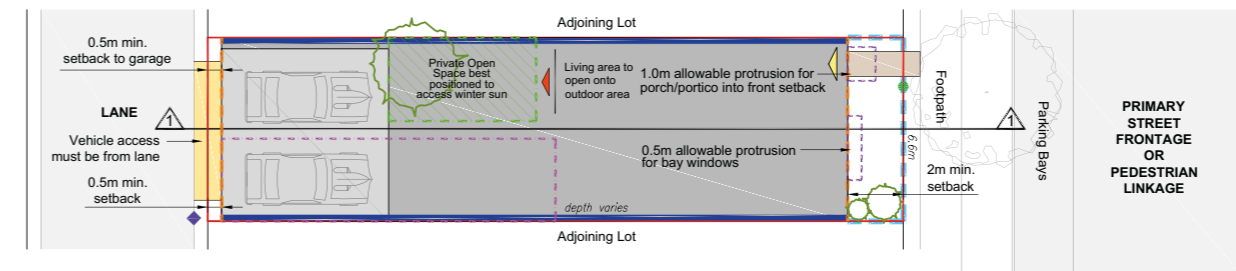
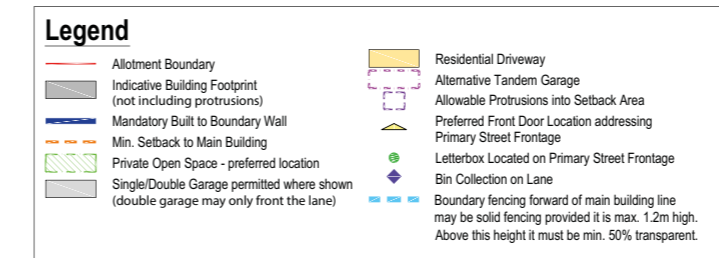


Indicative Section 1-1

Lots 22 & 23



Solar Orientation Diagram



Note: drawings are not to scale

DETAIL

LANEWAY TERRACE ALLOTMENTS  
Lots 10 and 11

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	0.025m
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	n/a
Side Setback to Street - (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	Alternative Tandem Garage along Built to Boundary Wall
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

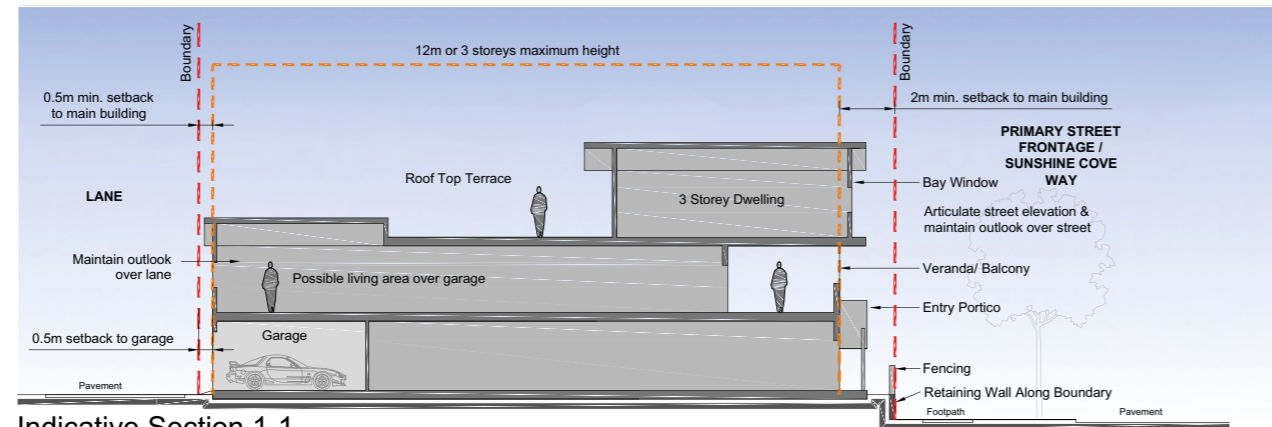
Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

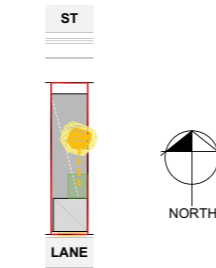
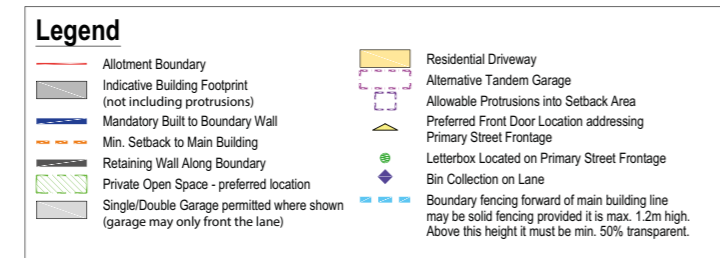
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.

25. SITE SPECIFIC CONSIDERATIONS LANEWAY TERRACE ALLOTMENTS

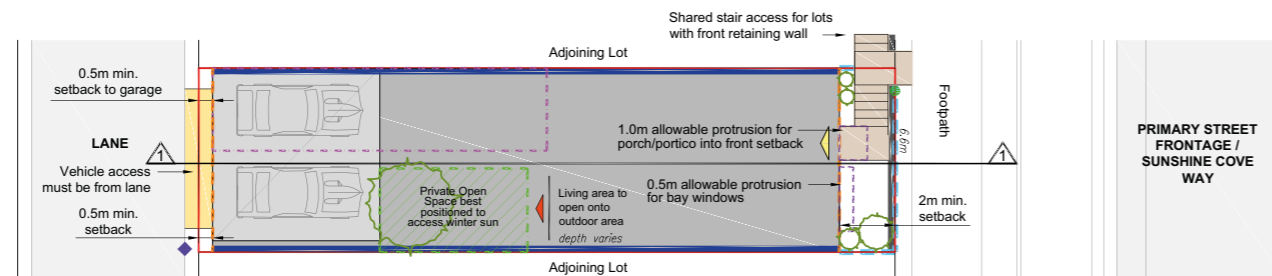


Indicative Section 1-1

Lots 10 & 11

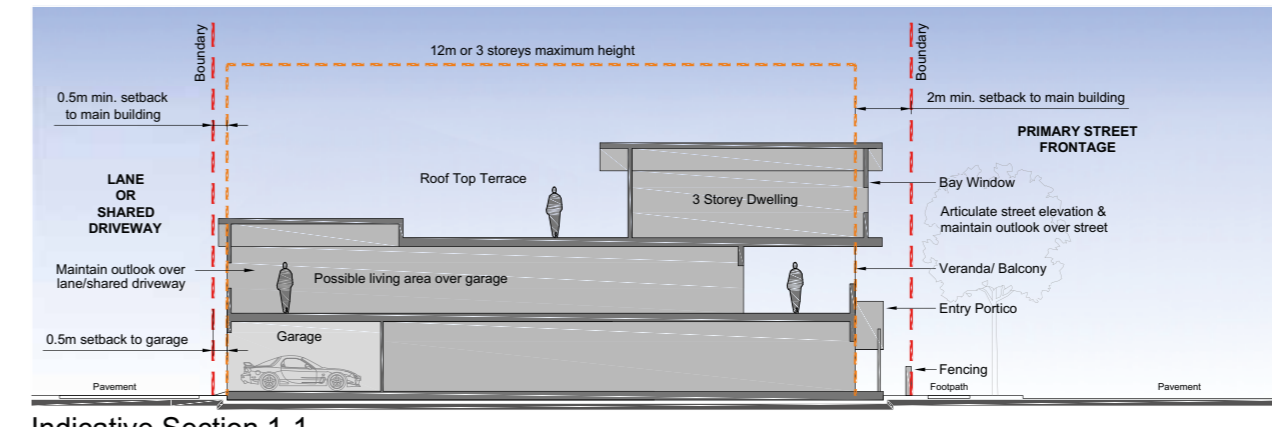


Solar Orientation Diagrams



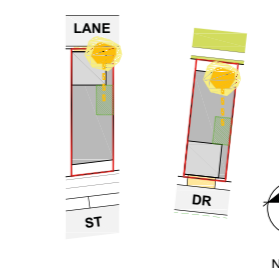
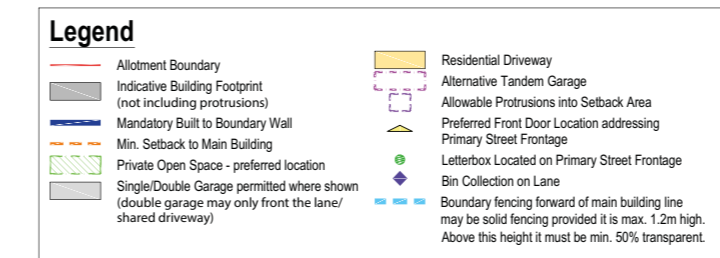
Note: drawings are not to scale

26. SITE SPECIFIC CONSIDERATIONS LANEWAY TERRACE ALLOTMENTS

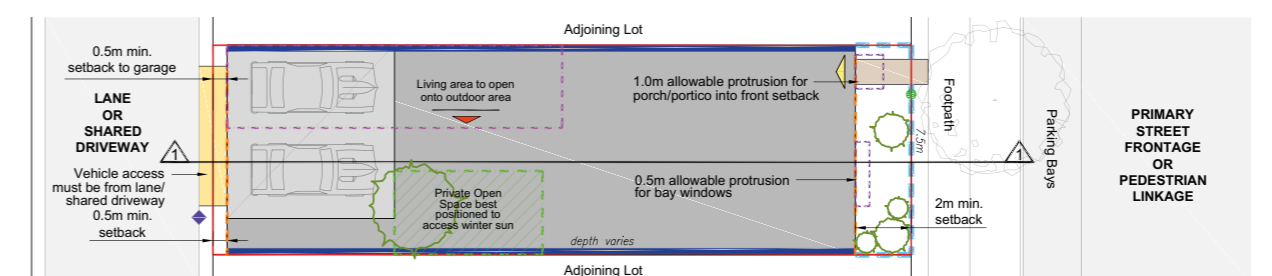


Indicative Section 1-1

Lots 21 & 24 Lot 51



Solar Orientation Diagrams



Note: drawings are not to scale

DETAIL

LANEWAY TERRACE ALLOTMENTS  
Lots 21, 24 and 51

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	0.025m
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	n/a
Side Setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	Alternative Tandem Garage along Built to Boundary Wall
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



DETAIL

LANEWAY TERRACE ALLOTMENTS  
Lots 9 and 12

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	0.025m
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

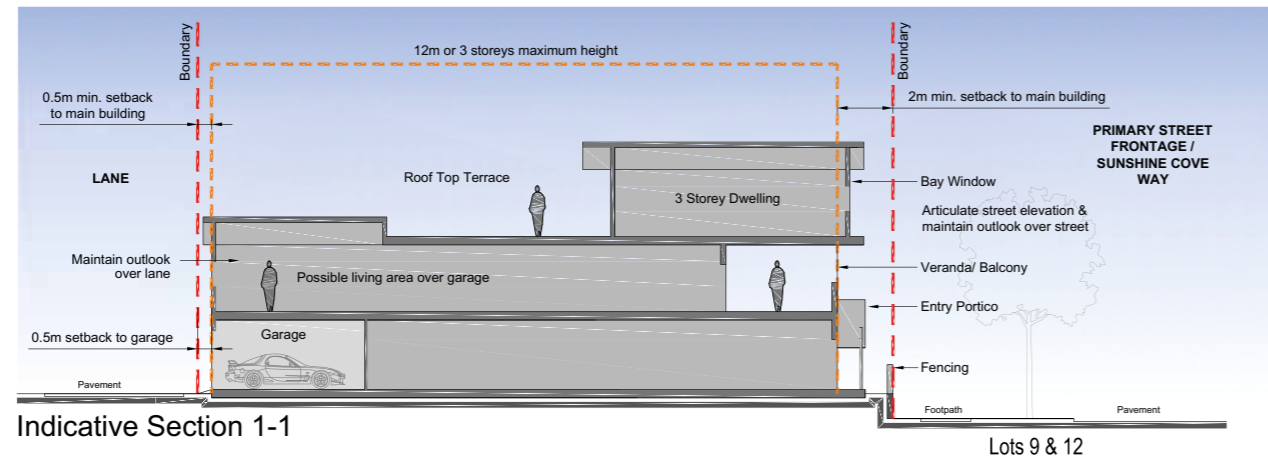
Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

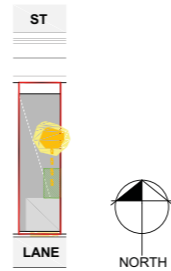
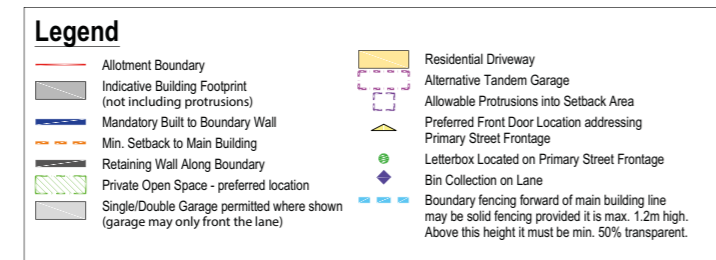
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.

27. SITE SPECIFIC CONSIDERATIONS LANEWAY TERRACE ALLOTMENTS

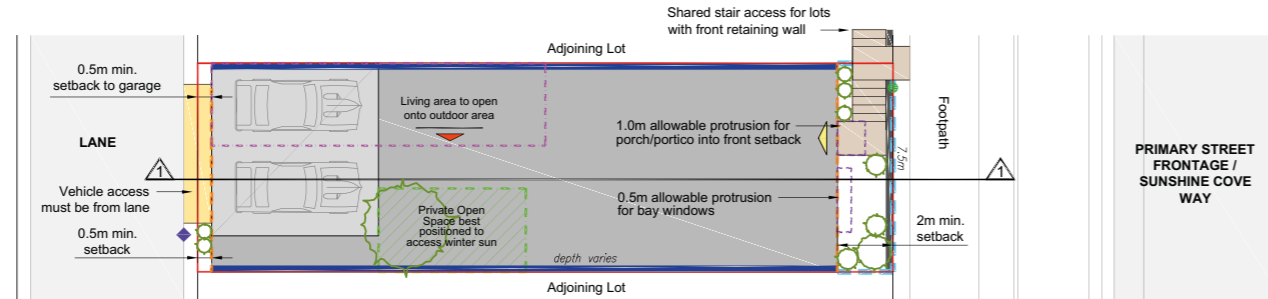


Indicative Section 1-1

Lots 9 & 12



Solar Orientation Diagrams



Note: drawings are not to scale

28. SITE SPECIFIC CONSIDERATIONS CORNER LANEWAY TERRACE ALLOTMENTS

DETAIL

CORNER LANEWAY TERRACE ALLOTMENTS  
Lots 25 and 20

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	2.0m
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

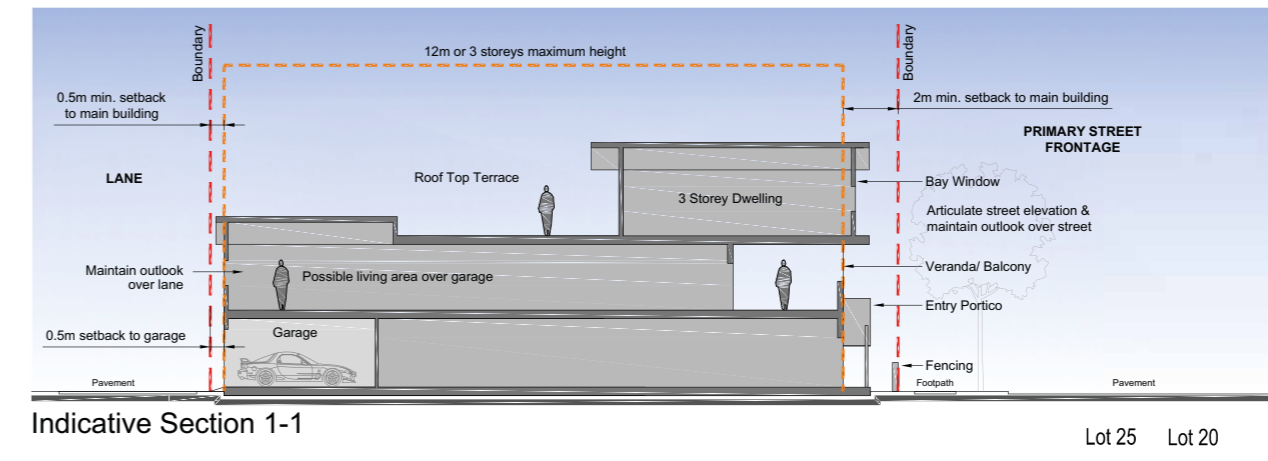
For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

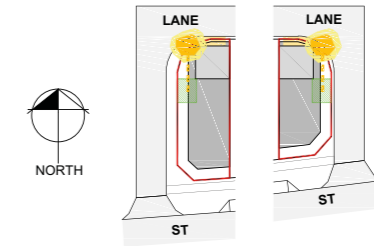
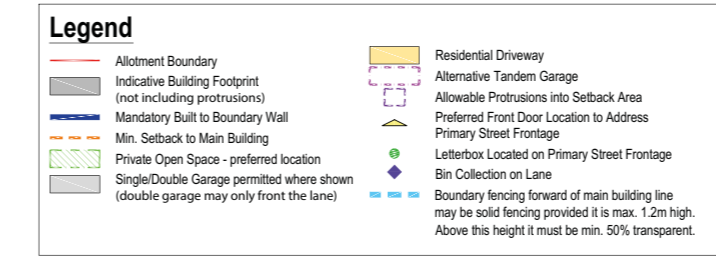
Parking

Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.

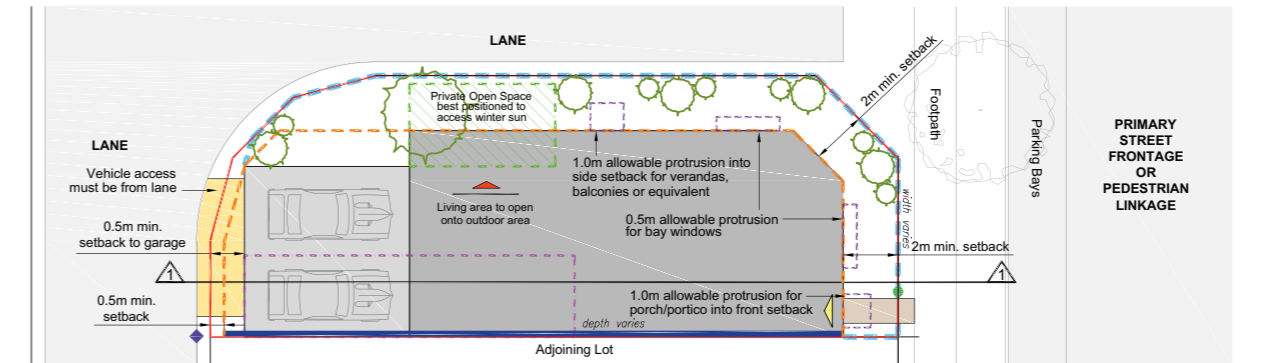


Indicative Section 1-1

Lot 25 Lot 20



Solar Orientation Diagrams



Note: drawings are not to scale



DETAIL

CORNER LANEWAY TERRACE ALLOTMENTS  
Lots 8 and 13

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	2.0m
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

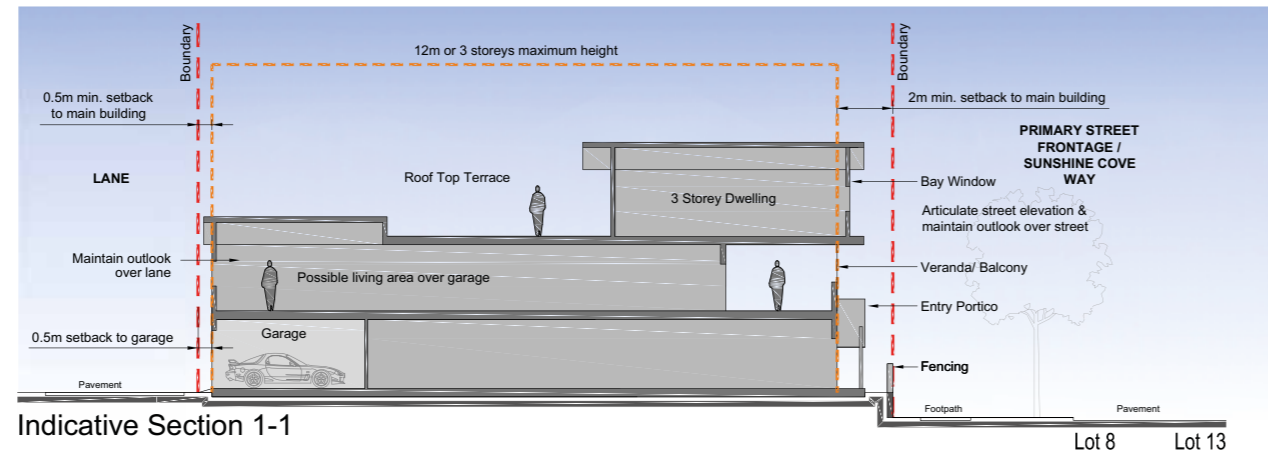
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

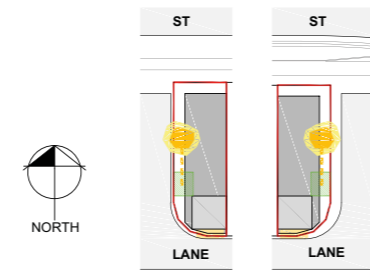
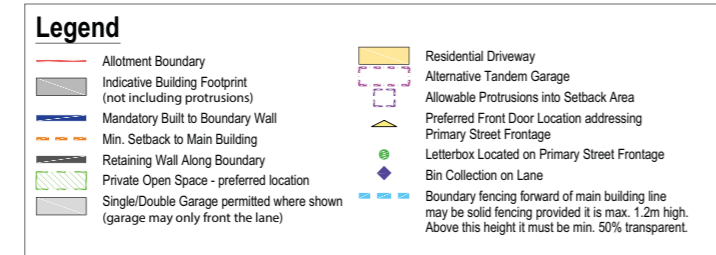
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



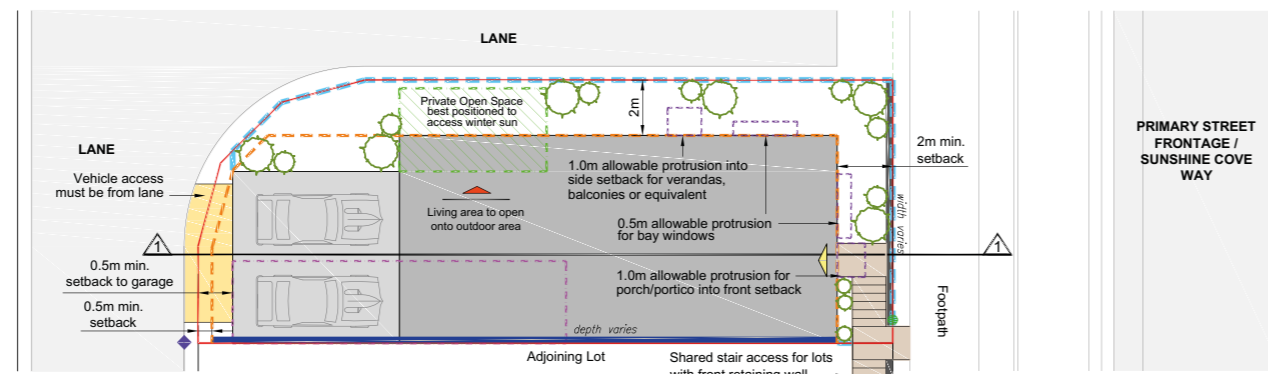
29. SITE SPECIFIC CONSIDERATIONS CORNER LANEWAY TERRACE ALLOTMENTS



Indicative Section 1-1



Solar Orientation Diagrams



Note: drawings are not to scale

30. SITE SPECIFIC CONSIDERATIONS CORNER LANEWAY TERRACE ALLOTMENTS

DETAIL

CORNER LANEWAY TERRACE ALLOTMENTS  
Lots 50 and 52

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	2.0m
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

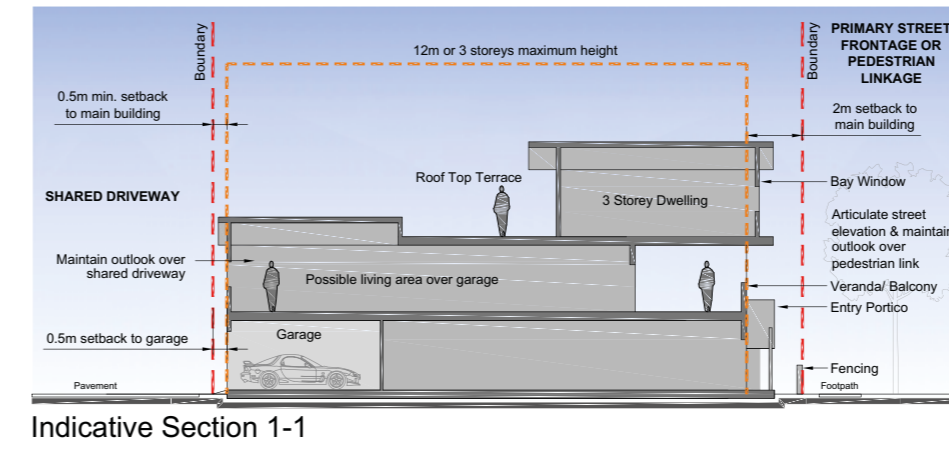
For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

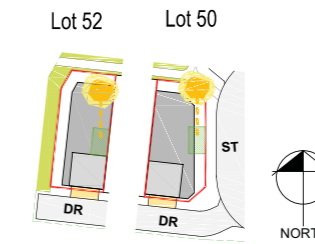
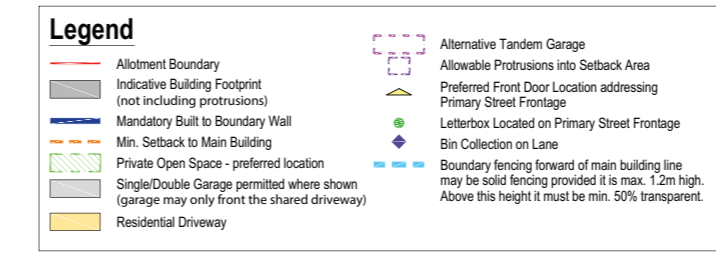
At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Parking

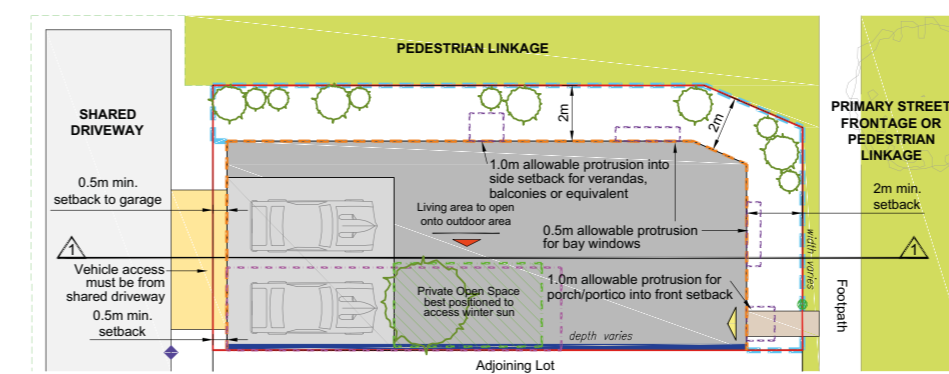
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



Indicative Section 1-1



Solar Orientation Diagram



Note: drawings are not to scale

DETAIL

STANDARD TERRACE ALLOTMENT  
Lot 63

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	1.0m
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

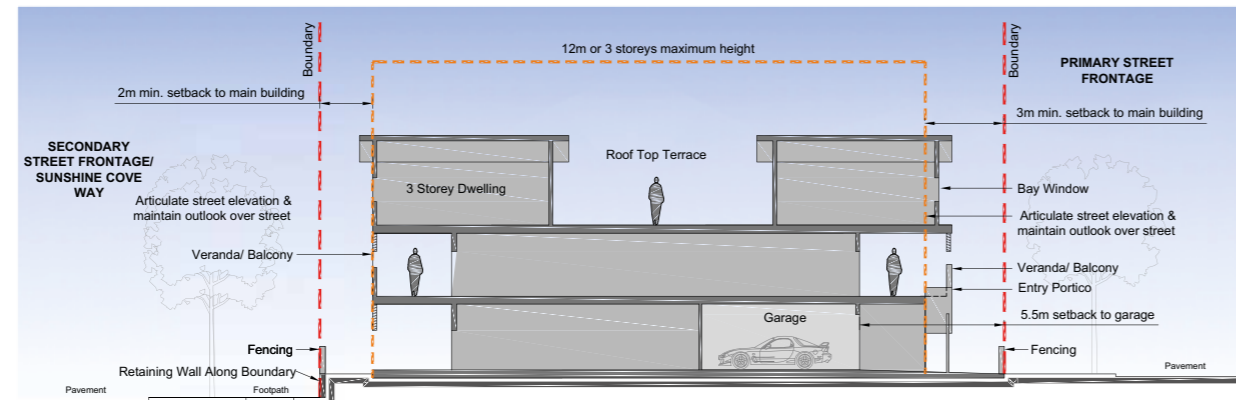
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

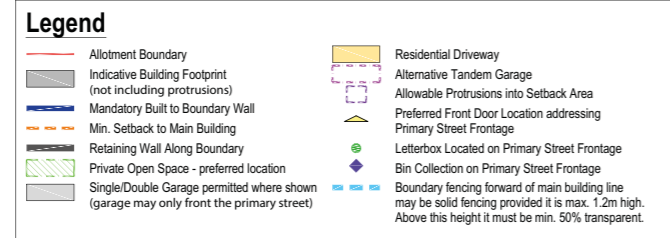
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



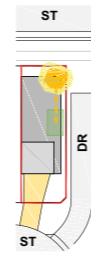
31. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



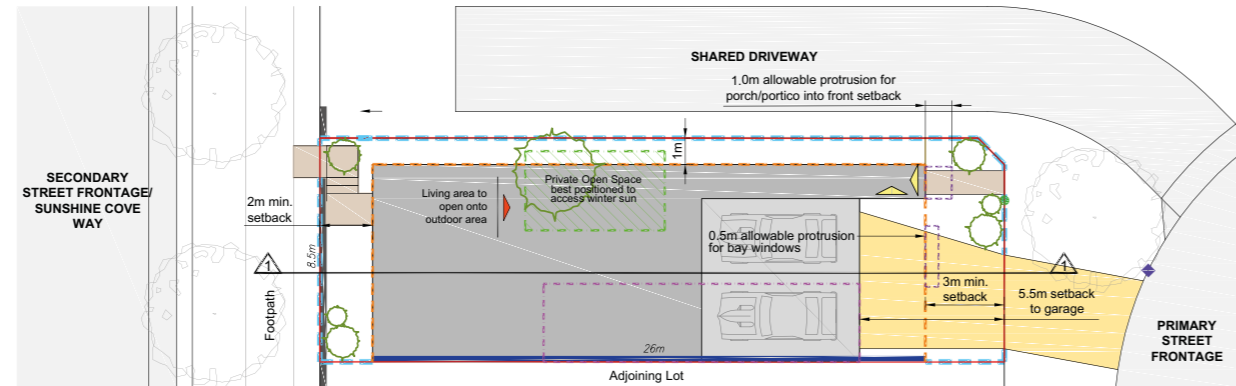
Indicative Section 1-1



Lot 63



Solar Orientation Diagram



Note: drawings are not to scale

32. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENTS

DETAIL

STANDARD TERRACE ALLOTMENTS  
Lots 54, 60 and 62

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

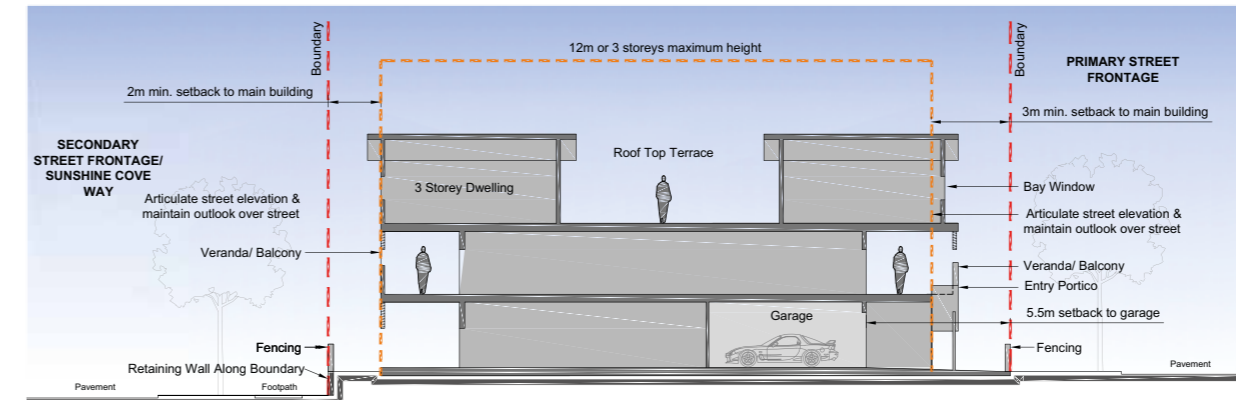
Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

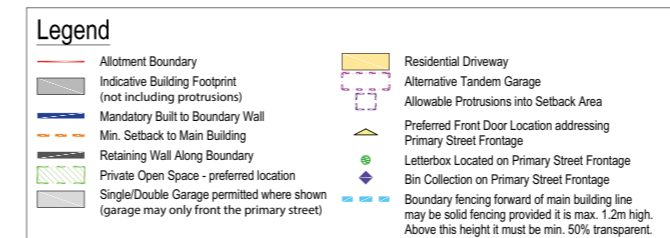
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

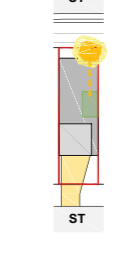
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



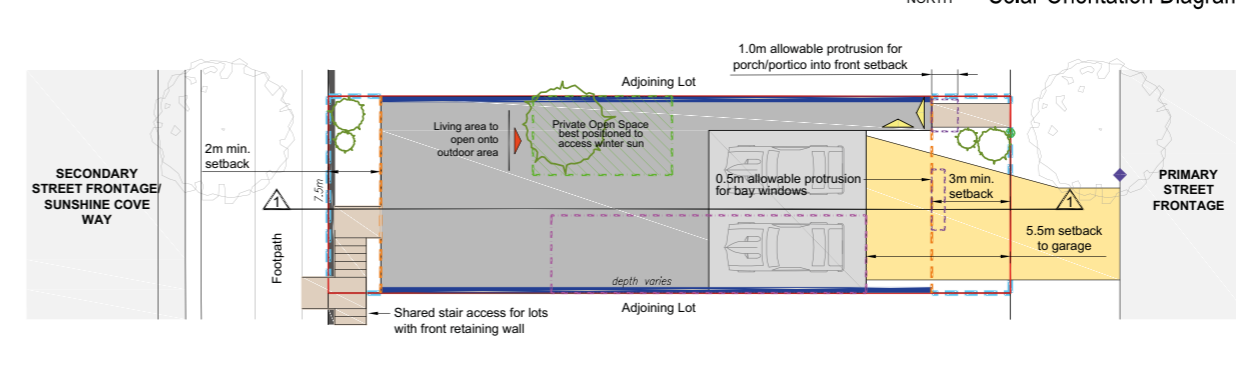
Indicative Section 1-1



Lots 60 & 62



Solar Orientation Diagrams



Note: drawings are not to scale

DETAIL

STANDARD TERRACE ALLOTMENTS  
Lots 55 and 61

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

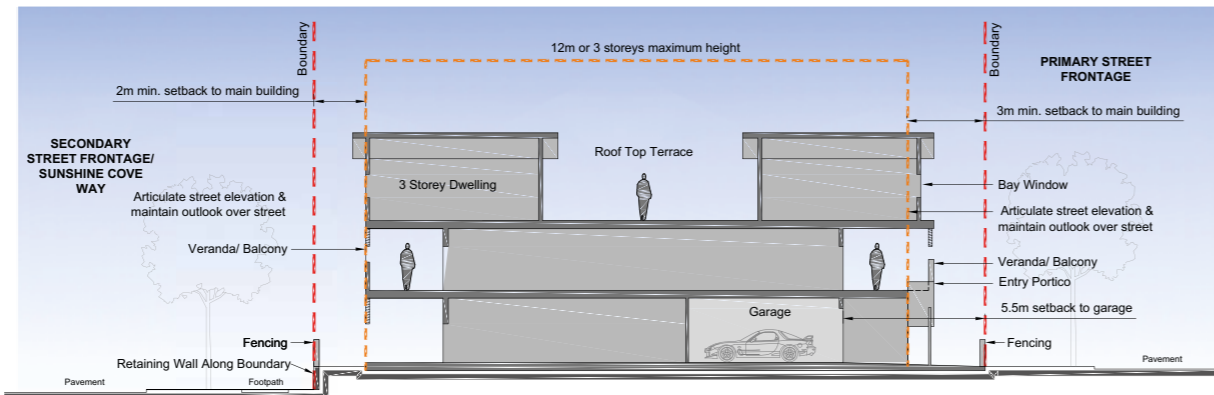
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

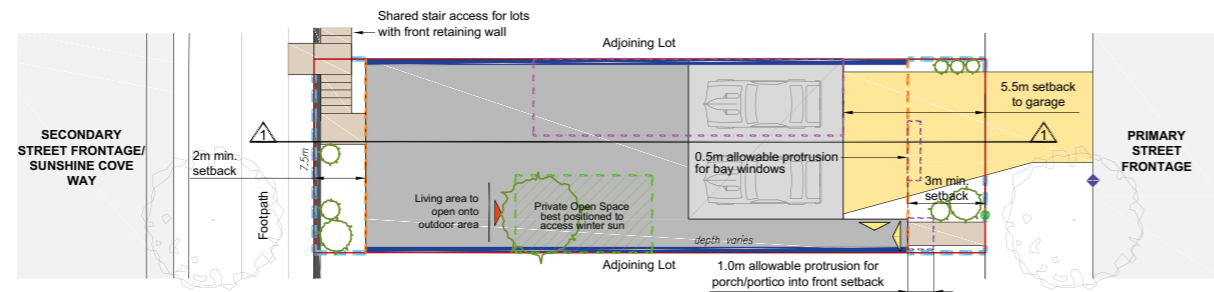
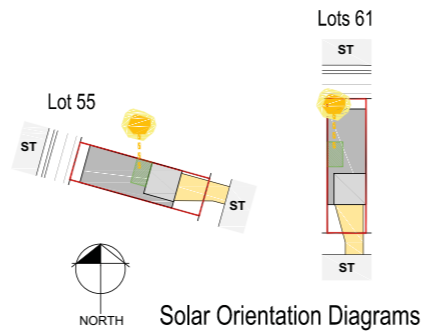
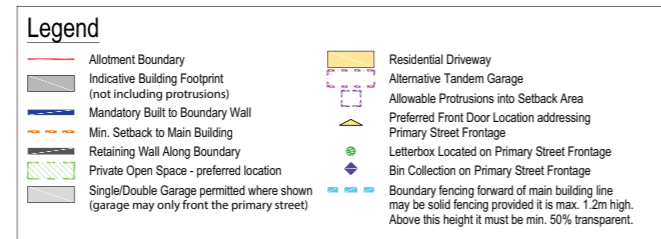
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



33. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENTS

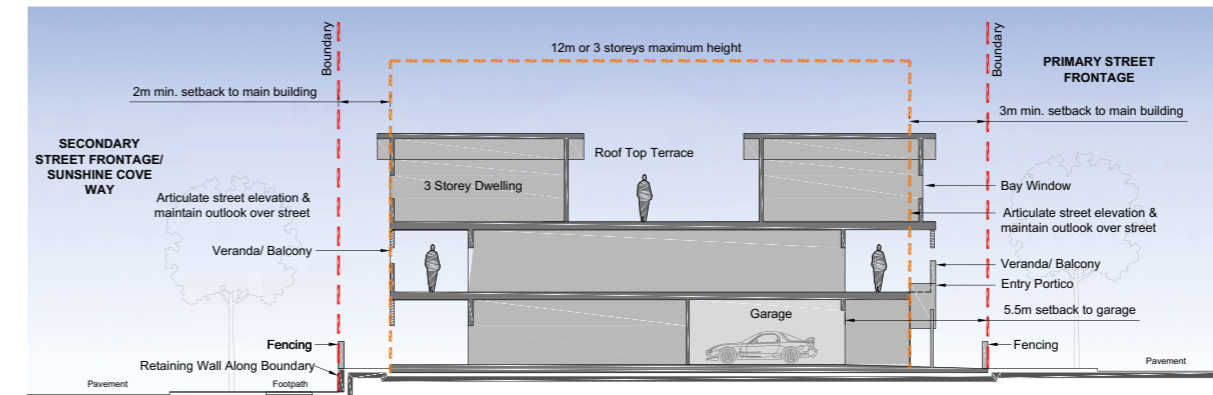


Indicative Section 1-1

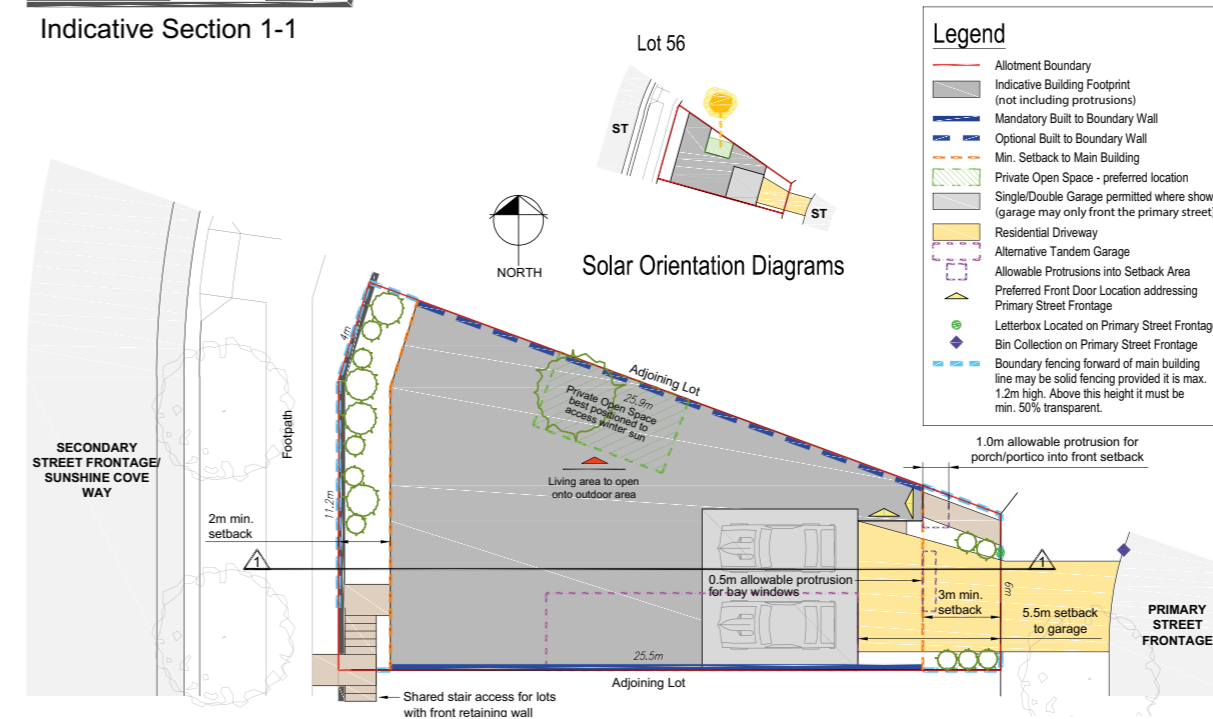


Note: drawings are not to scale

34. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



Indicative Section 1-1



Note: drawings are not to scale

DETAIL

STANDARD TERRACE ALLOTMENT  
Lot 56

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	1.0m
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



DETAIL

STANDARD TERRACE ALLOTMENT  
Lot 57

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	1.0m
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

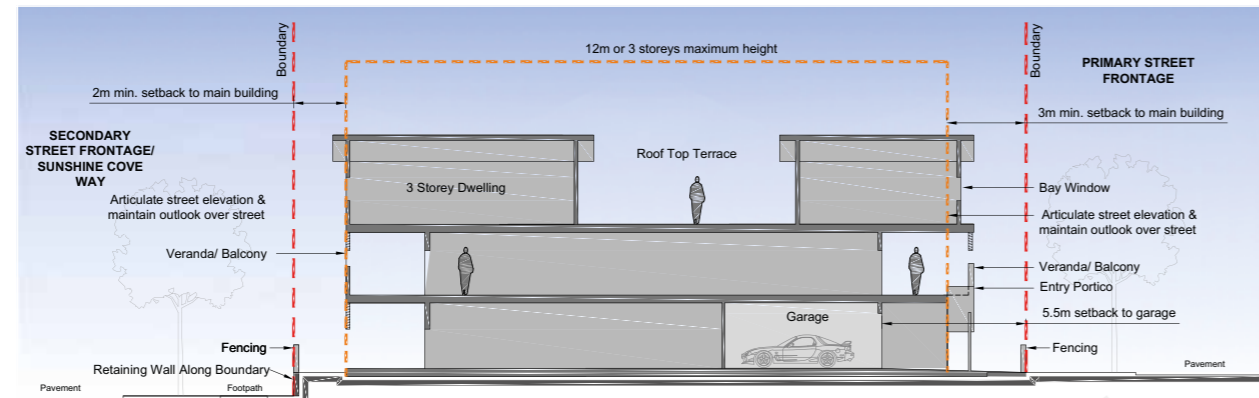
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

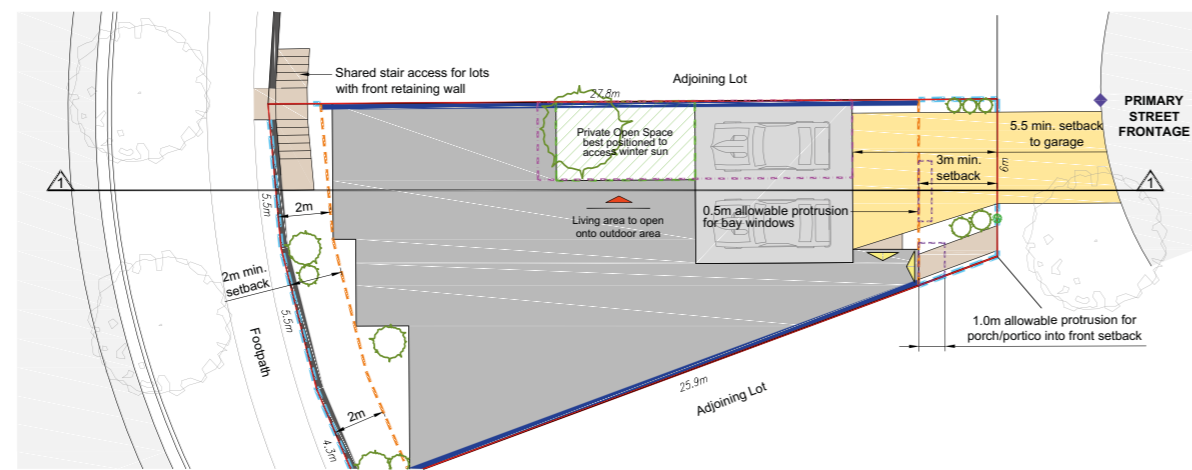
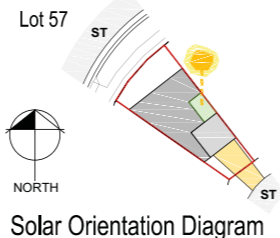
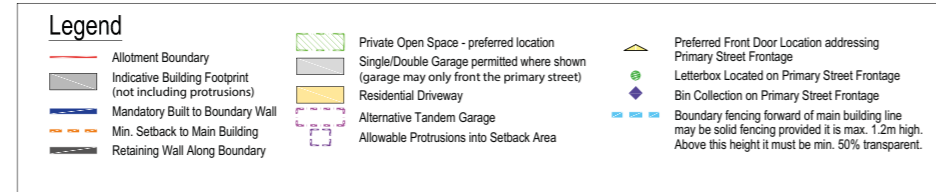
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



35. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



Indicative Section 1-1



Note: drawings are not to scale

36. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT

DETAIL

STANDARD TERRACE ALLOTMENT  
Lot 58

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	1.0m
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

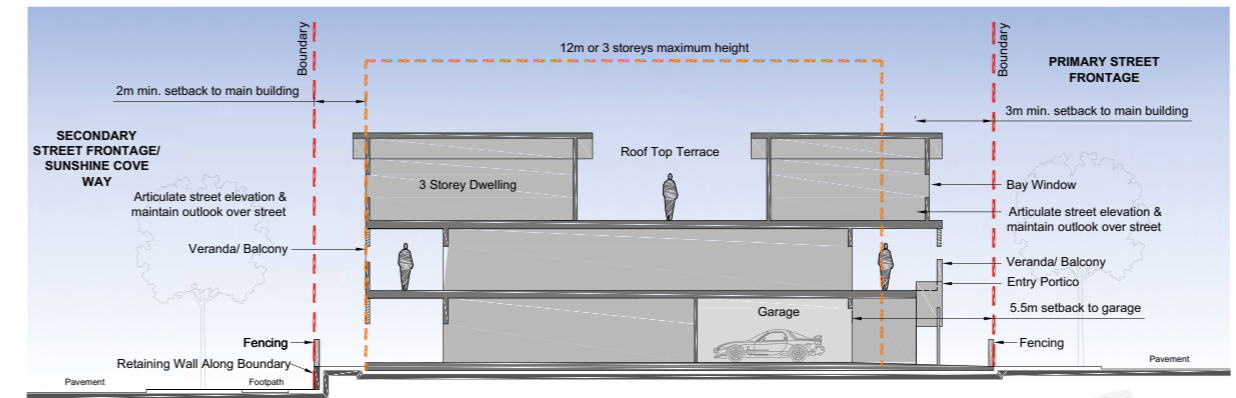
Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

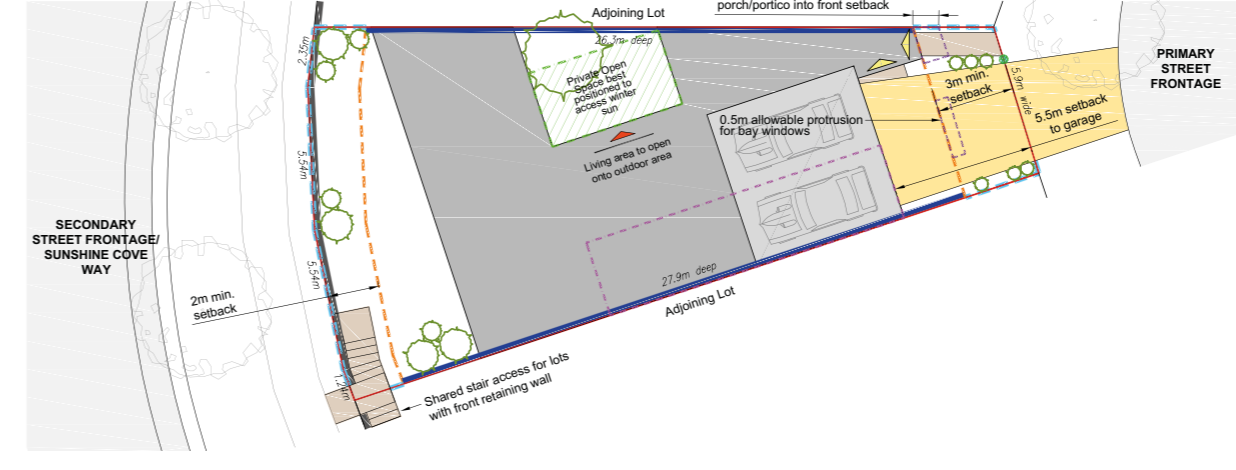
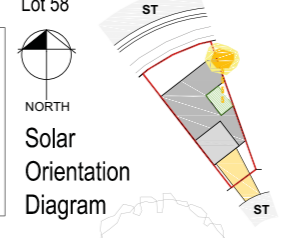
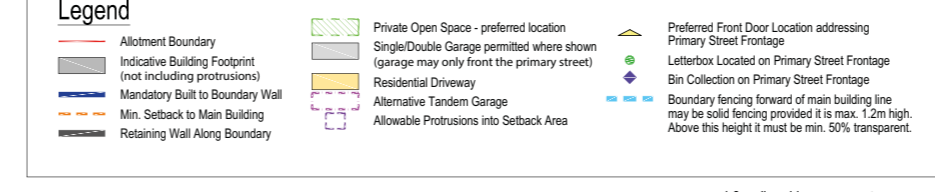
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



Indicative Section 1-1



Note: drawings are not to scale

DETAIL

STANDARD TERRACE ALLOTMENT  
Lot 59

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	0.025m
Side Setback - (1st & 2nd storey)	1.0m
Non Built to boundary Wall	
Side Setback to Street - (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

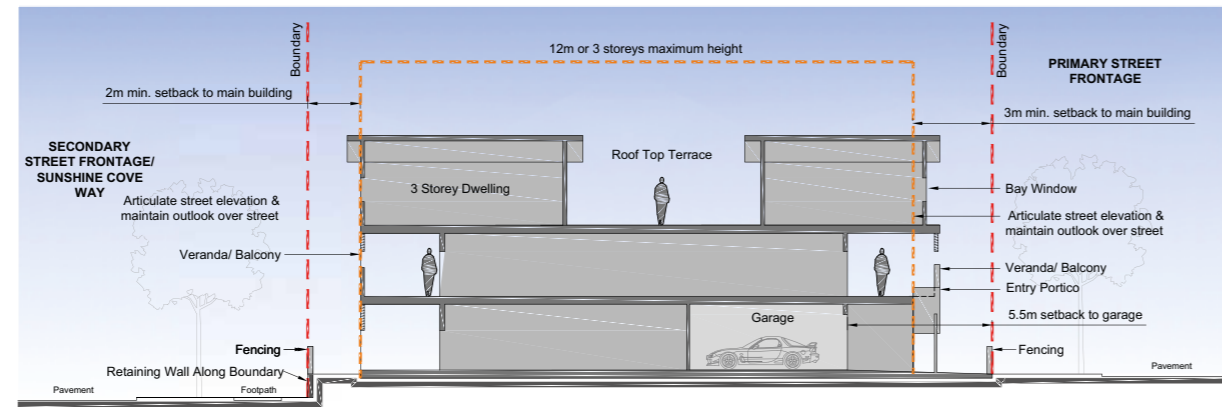
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

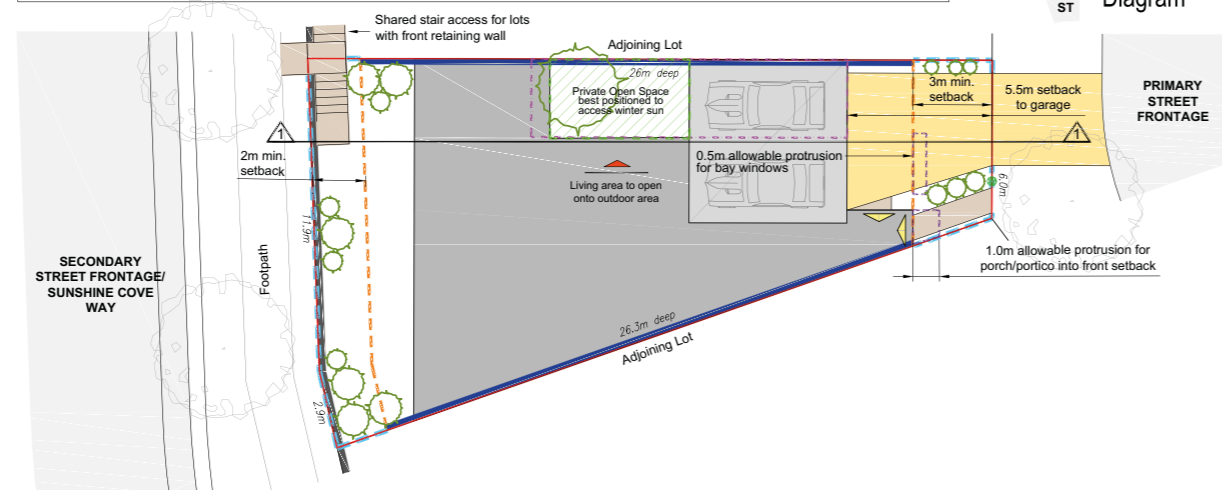
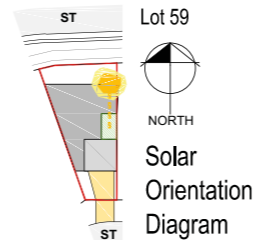
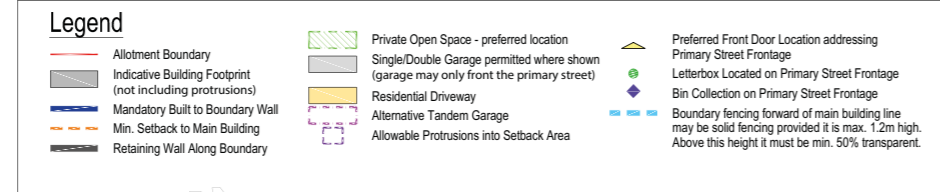
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



37. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



Indicative Section 1-1



Note: drawings are not to scale

38. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT

DETAIL

STANDARD TERRACE ALLOTMENT  
Lot 53

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Garages	n/a
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	2.0m
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	2.0m
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

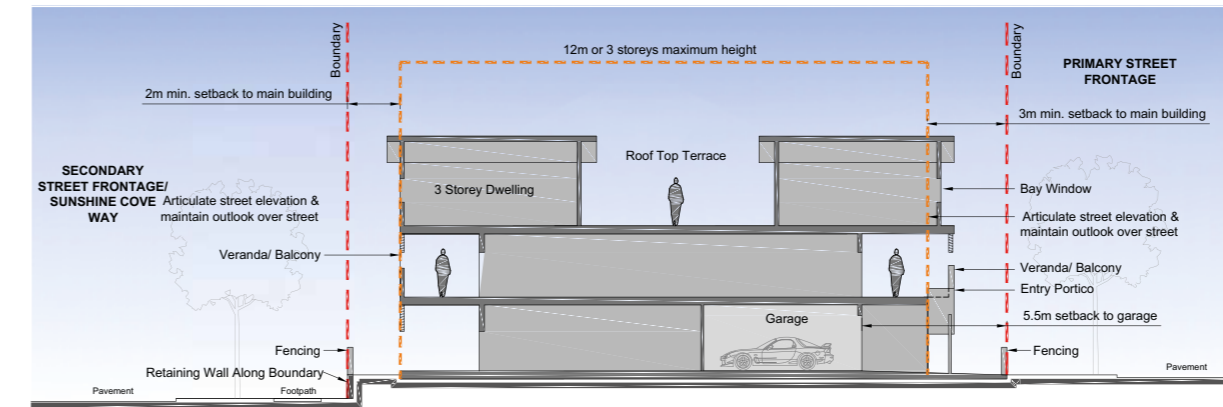
Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

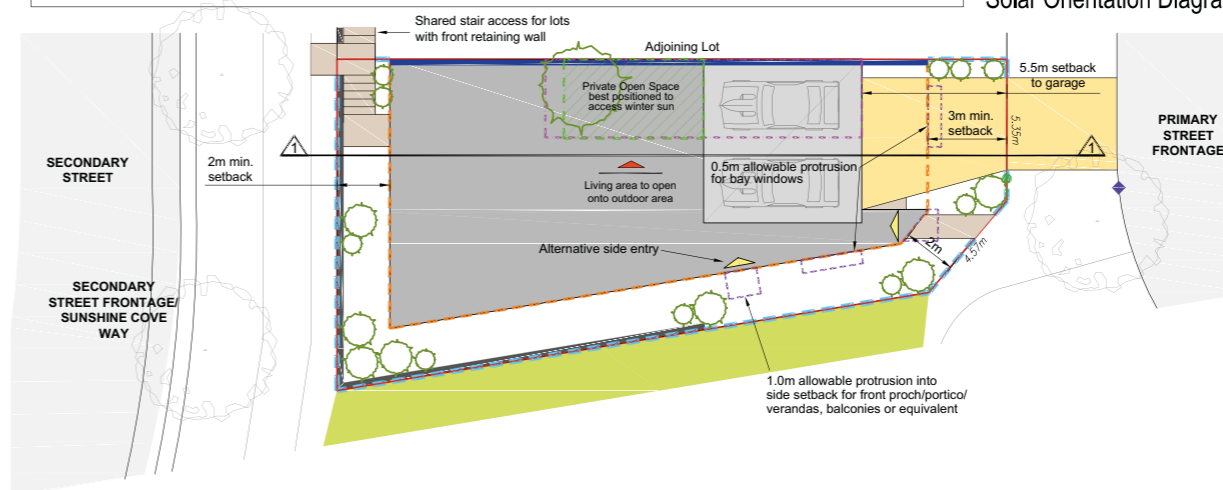
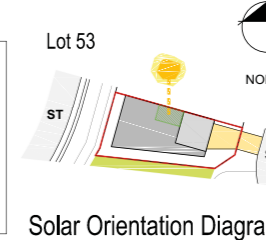
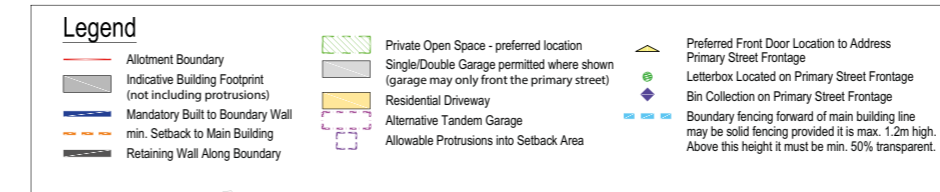
Private Open Space must be located behind the built form and can not be adjacent to Sunshine Cove Way.

Parking

Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.



Indicative Section 1-1



Note: drawings are not to scale



DETAIL

URBAN LANEWAY TERRACE ALLOTMENTS  
Lots 2-6, 15-18, 27-37 and 40-48

Front Setback - Habitable Rooms	2.0m
Garages	n/a
Rear Setback - Habitable Rooms (1st & 2nd)	0.5m
Garages	0.5m
Side Setback - (1st & 2nd storey)	0.025m
Built to Boundary Wall	
Side Setback - (1st & 2nd storey)	n/a
Non Built to boundary Wall	
Side Setback to Street (Corner Lots)	n/a
Along Boundary wall or otherwise indicated by developer	
Alternative Tandem Garage along Built to Boundary Wall	
Site Cover (maximum)	n/a

**Building Height**

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

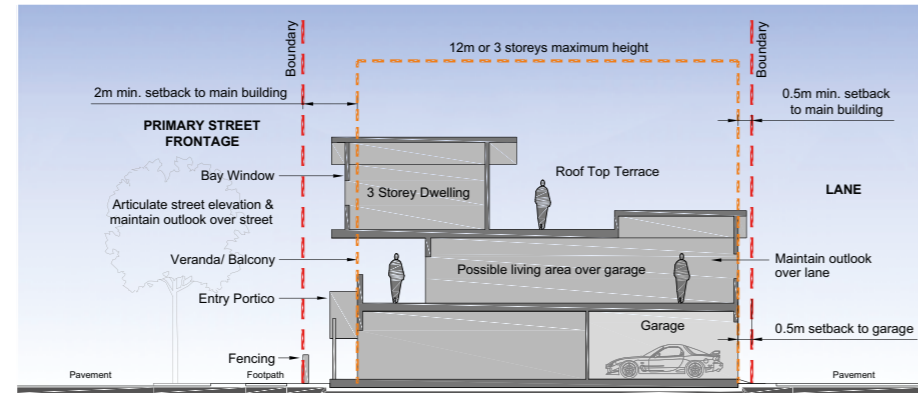
**Outdoor Living Space**

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and is accessible from the living area of the dwelling and all private open space areas are to remain uncovered.

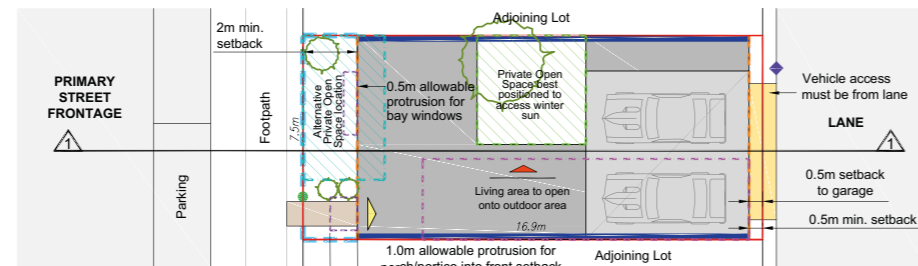
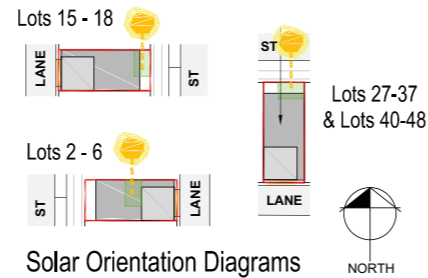
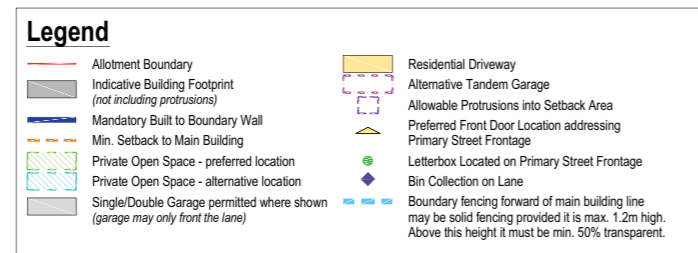
**Parking**

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

39. SITE SPECIFIC CONSIDERATIONS URBAN LANEWAY TERRACE ALLOTMENTS



Indicative Section 1-1



Note: drawings are not to scale

40. ADDITIONS AND EXTENSIONS

Additions and extensions to the dwelling house, outbuildings and other structures, including new verandahs, pergolas, outbuildings, sheds, swimming pools and garden structures are subject to the same covenant requirements and application for approval must be made to the Seller and the local authority in the same manner as the original building applications.

41. MAINTENANCE OF LOTS

During construction it will be the responsibility of the Buyer to ensure that rubbish including site excavations and building materials is kept in such a manner that the community presentation and safety is not effected. Excessive growth of grass or weeds upon the Lot will also need to be maintained to up hold the visual amenity of Sunshine Cove.

42. BUILDING WORKS

It is the Buyers responsibility to ensure that their builders / contractors working on site comply with environment controls that are reflective of current best practice, meet Sunshine Coast Regional Council standards and work health and safety measures. During construction, access will only be permissible from the front of the Lot and Buyers will be responsible for any necessary rectification works to adjoining property, parklands, streetscape or land owned by the Developer.

It is the responsibility of the Buyer and the Buyers builder / contractor to install appropriate sediment control measures onsite prior to construction commencing and ensure they are maintained accordingly.

The Buyer agrees to substantially commence construction in accordance with the approved Development and Construction Application within six months from the date of settlement. Buyers must be aware that construction is to be contained within their allotment. In addition, special consideration must be made to house

construction ensuring minimal or no interruption or impact to neighbour allotments, including the storage of materials and subcontractor parking. Buyers should also provide communication to their neighbours before construction commences.

43. ADVERTISING SIGNS

Sunshine Cove's residential community quality presentation standard is to be held in regard in consideration of the use of advertising signs on individual lots.

A single advertising device may be installed on a temporary basis, for the purpose of advertising the property for sale or lease to a maximum size of 2m x 1m. The advertising sign must be supported by two posts painted to compliment the colour of the signage.

44. PUBLIC USE OF LAKE WAY

Swimming in the lake or water way at Sunshine Cove is prohibited and is not encouraged or advisable.

Water based activities (where there is no direct contact between an individual and the water) such as kayaking, canoeing and rowing are permitted.

The Developer will not be held liable for any injury, accident or death to members of the public swimming or undertaking water activities.

The use of motorised activities on the waterways is also prohibited by the Sunshine Coast Regional Council.

The illustrations and imagery included within this document are for illustrative purposes only and as such are subject to change.

Architectural drawings by Dimond Architects  
This publication was designed and produced by Carlosus

## 45. INFORMATION SUPPLIED BY SELLER

Any information supplied by or on behalf of the Seller is supplied for the convenience of the Buyer and does not form part of the Contract. The accuracy of any information supplied is not warranted by the Seller and the Buyer acknowledges that it has entered into this Contract solely on the basis of the Buyer's own investigation. The Seller will not be liable in Contract or in Tort for the accuracy, adequacy or suitability of any information, documents or advice in relation to the condition of the Lot or its surroundings.

## 46. LEGAL DUTY OR OBLIGATION

The Buyer and the Seller acknowledge and agree that these provisions relating to building covenants do not create any legal duty or obligation for the benefit of or enforceable by a third party in terms of Section 55 of the Property Law Act 1974 as amended and the operation of that section is hereby expressly excluded in respect of this Contract.

## 47. NO MERGER

The Buyer agrees that the provisions of this Covenant will not merge on the completion of this Contract.

## 48. ASSIGNMENT

The Buyer will not sell, transfer or otherwise dispose of the Land without first delivering to the Seller a Deed of Covenant given by the Buyer, Transferee or Donee in favour of the Seller containing covenants on the same terms (mutatis mutandis) as are set forth herein including liability to obtain such Deed of Covenant from any further Buyer, Transferee or Donee.

Such documentation is available by contacting the Seller and or the Seller's solicitor.

## 49. INCONSISTENCY

If there is any inconsistency between these covenants and a contract of sale between the Seller and the Buyer, the terms of the contract of sale will prevail to the extent of any inconsistency.

## 50. SEVERANCE

If anything in these covenants:

(a) is unenforceable, illegal or void; or  
(b) makes any covenant unenforceable, illegal, void or voidable, then it is severed and the rest of the covenants remain in force.

If it is held by a court that part of these covenants are:

(a) void, voidable, illegal or unenforceable; or  
(b) makes these covenants void, voidable, illegal or unenforceable, that part will be severed from this document.





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Fax: 07 3237 8833  
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Fax: 07 5499 6711  
Email: [sunshine@placedesigngroup.com](mailto:sunshine@placedesigngroup.com)



**SUNSHINE COVE**  
MAROOCHYDORE

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CREATED BY  
 chardan  
development  
group